



HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

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I. INTRODUCTION

PURPOSE

The purpose of this report is to document the history, existing conditions, significance, and integrity of Wattles Mansion and Gardens as an historic estate and cultural landscape and to propose appropriate treatments for the continued maintenance and rehabilitation of the property.

This report is a compilation of material funded by a Preserve L.A. grant from the J. Paul Getty Trust to Hollywood Heritage, Inc. (HHI), an HSR prepared by ARG (1992) and updated with maintenance, rehabilitation and treatment plans developed by Hollywood Heritage Inc. All maintenance, rehabilitation and treatment has been guided by the Secretary of the Interior's Standards for Rehabilitation of Historic Properties, the 1992 Historic Structure Report and the 2002 Cultural Landscape Report.

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

GOALS

Since the acquisition of Wattles Gardens for public use in 1968, the City of Los Angeles Department of Recreation and Parks (LADRP) and its lessees have had several goals for the property. In May of 2001, as part of the Preserve LA grant, the following goals were articulated.

- Preserve the historic estate as a whole while developing appropriate treatments for the Mansion and each section of the property based on historic significance, condition, integrity, and use.
- Maintain and develop compatible uses for the site that preserve its historic character, provide revenue for on-going rehabilitation, and respect its residential setting.
- Ensure public access and support healthy and safe use of park space.
- Protect, preserve, and maintain the Wattles Mansion as the centerpiece of the grounds and gardens.
- Stabilize the site by addressing major maintenance, repair, and

security needs, particularly storm water drainage and flooding issues.

- Develop a collaborative working relationship among all stakeholders (LADRP, HHI, WF, homeowners and residents), including an effective management plan for all areas.
- Educate the public about the significance of the estate.
- Develop an on-going rehabilitation and maintenance plan, including the prioritization of projects.
- Identify and obtain funding for continued rehabilitation of character-defining features and spaces of the estate.
- Seek additional funds for maintenance and site management.

This report seeks to address these goals by providing recommendations for continuing management, appropriate treatments for maintenance, rehabilitation, and interpretation of the site.

BACKGROUND

The Wattles Mansion and Gardens are located in the Hollywood foothills in the City of Los Angeles, California. The forty-nine-acre property is bounded by Hollywood Boulevard on the south, Curson Avenue on the west, and Sierra Bonita Avenue on the east. The northern boundary is located in an undeveloped portion of the Hollywood Hills, a section of the Santa Monica Mountains. The estate faces south and has views of the Los Angeles Basin to the Pacific Ocean and Santa Catalina Island.

The property was originally developed as a winter home at the turn of the twentieth century when Hollywood was primarily agricultural, long before its transformation into an international film capital. Today, Wattles Gardens is the only extant wintering estate remaining in Hollywood, a unique Southern California cultural landscape from the turn of the century under public stewardship.

The property consists of the Orchard and Community Gardens; the Wattles Mansion, Entrance, Lawns, and Service Areas; the Formal Gardens; and the American Garden, site of the historic Japanese Garden, and a vast mountainous area, which comprise Wattles

Garden Park. The property is owned by the City of Los Angeles. The Mansion, Entrance, Lawns, Service Areas, and the Formal Gardens were leased to Hollywood Heritage, Inc., a private non-profit organization dedicated to historic preservation from 1983 through May of 2009. Wattles Farms (WF), also a private non-profit organization, manages the Orchard (Community Gardens). The remainder of the site, has been continuously managed by the City of Los Angeles since its acquisition in 1968. Wattles Gardens is designated City of Los Angeles Historic-Cultural Monument #579 and is eligible for listing in the National Register of Historic Places as an historic estate with cultural landscape.

During its stewardship, Hollywood Heritage, Inc. sought to maintain the Mansion and Gardens using standard preservation practices and methods. These include documentation, rehabilitation and conservation efforts. In 1992, the first of these documents, the *Historic Structure Report* (Architectural Resources Group,) which included as-built drawings, and a *Project Manual* was produced. This document guided subsequent rehabilitation, accessibility, including seismic strengthening, accessibility,

asbestos abatement and interior and exterior repair.

In 2000, the City (through Hollywood Heritage, Inc.) was awarded a Preserve L.A. Planning Grant from the Getty Grant Program to produce a Cultural Landscape Report to provide a plan for the long-term conservation of the Gardens and various components.

In 2006, the 1992 HSR was supplemented by the Wattles Estate and Garden Conservation Study funded by the Getty Foundation.

To continue its commitment to preserve the historic elements of the Wattles Estate, the City should continue its efforts to maintain and enhance the conditions of the extant historic structure and site features in order to ensure that Wattles remains a valuable community asset.

STATEMENT OF HISTORIC SIGNIFICANCE

The Wattles Mansion and Gardens is the only remaining intact example of a Hollywood estate from the period before the area became associated with the film industry. Wattles Mansion and its surrounding historic landscape is also one of the largest historic turn-of-the-twentieth-century estates in Southern California today.

Predating the era of motion picture production, for which Hollywood is best known, it is representative of the initial development of the community as a summer and winter home for wealthy families escaping from harsher climates in the East and Midwest. The estate embodies the unique integration of architecture, natural landscape, and gardens that became Southern California's distinctive regional style in the hands of architects like Hunt and Grey. The Mediterranean Mansion remains intact and the various sections of the landscape continue to evoke the designed landscape principles popular during the era. It is also a rare example of an historic estate, with residence and site intact, under public stewardship.

The Wattles Mansion and Gardens is eligible for listing in the National Register of Historic Places as an estate, a particular type of historic

designed landscape defined by the National Park Service.

- It is significant under Criterion A in that it uniquely represents the early development of Hollywood through its architecture, association with agricultural production, setting, location, and size.
- It is significant under Criterion C as an early example of the work of well-known architects Myron Hunt and Elmer Grey who were also responsible for significant buildings across Southern California, including the Henry E. Huntington Residence (1910). Myron Hunt's designs include the Ambassador Hotel (1919, now demolished) and the Rose Bowl (1922), as well as significant buildings at Occidental College, Pomona College, and California Institute of Technology; Elmer Grey's designs include the Beverly Hills Hotel (1911) and the Pasadena Playhouse (1923).

Wattles Gardens, with its combination of elements that include the Orchard, Mansion,

Service Areas, Formal Gardens, American Garden, Japanese Garden, and natural mountain setting, is characteristic of an emerging uniquely Southern California landscape style and regional architecture in the early twentieth century. In the design of Wattles' estate, the architects, working together with the owner, introduced new ideas about the use of gardens as outdoor living areas, the interaction of nature with architecture, and the adaptations of Mediterranean garden styles to California. In addition, the property today includes a large extant avocado grove, one of the last remnants of Hollywood's agricultural roots. The Wattles estate offers remarkable potential for the preservation and interpretation of a unique Southern Californian cultural landscape from the turn-of-the-twentieth century.

It was the views of the Pacific Ocean and a rustic mountain setting that attracted Gurdon Wattles, a wealthy banker and railway company president from Omaha, Nebraska, to Hollywood, where he purchased ninety acres of property in 1905. Intending to build a vacation retreat that could later serve as a retirement home, Wattles hired prestigious local architects Myron Hunt and Elmer Grey to design a home and gardens

to accommodate his family's recreational pastimes. Between 1905 and 1916, Wattles developed and expanded the mansion and gardens to the point where his estate, which he called "Jualita," became known as "one of the show places of Southern California and one of Hollywood's most outstanding attractions."

The City of Los Angeles purchased the property in 1968 for a public park. Community Gardens were established in the Orchard on the lower portion of the site in 1974. Julia Vance Wattles continued to live in the property until her death in 1977. Hollywood Heritage leased the Mansion, Entrance, Lawns, and Service Areas and Formal Gardens from 1983 through May 2009 to rehabilitate the home and gardens for adaptive reuse as a special events venue and for community use consistent with its historic significance.

This report update was prepared for the Wattles Estate by Hollywood Heritage, Inc. Hollywood Heritage contributed in-kind services to this effort that included further development of a historic context and coordination of volunteers who inventoried and digitally photographed the character-defining features of each

space to create a base line record of existing conditions.

The preparation of this Historic Structure Report is part of the continuing documentation by Hollywood Heritage, Inc. of its stewardship of a site that is very significant to the City of Los Angeles. A Historic Structure Report (HSR) is the primary type of document used to guide treatment and use of historic structures. The HSR does not provide the comprehensive history of a site, building, people, and events. This report draws from history to define the reasons that a site is significant and determine which spaces, materials and features contribute to that significance. The long term survival of the site is dependent upon planning for the maintenance and repair of identified character-defining spaces and features. The recommended treatments that will conserve the integrity of the Wattles Mansion range from housekeeping to physical repairs to administrative management and record-keeping.

The foundation of conservation planning is a documentary record of the site. This serves the purpose of “knowing the object,” in order to identify problem conditions and recommend effective solutions. Documentation serves future

stewards by providing a record of conditions for comparison over a period of time. This record assists in restoration and replication if there are unfortunate losses due to disasters such as storms, earthquakes, and fires. The Stewards and consultants can use this report to find information, add condition information, and record future condition observations as well as future treatments.

In addition to the character-defining features and existing conditions recorded herein, there are consultant reports which were prepared during various phases of treatment. These reports include structural engineering and bolting, paint analysis and asbestos abatement.

The interior of the Wattles Mansion is in good condition and is generally well maintained. The uses for the past two decades as offices, caretaker residence, and community events venue, illustrate the importance of the facility to the City. These uses have resulted in wear on floors, baseboards, doors, windows and decorative features. Mechanical systems have been maintained.

Rehabilitation of the structure and exterior envelope of the house is an ongoing task that must continue to be implemented. The roof, gutters

and flashings have been repaired. Exterior cast plaster elements in the garden are deteriorating. The exterior stucco finish must be monitored to forestall water seepage into the wood construction behind the walls and, eventually, into interior plaster and wood finishes. Small areas of termite infestation and damage have been observed.

SCOPE OF WORK AND METHODOLOGY

This updated Historic Structure Report incorporates guidelines for Historic Structure Reports and for Cultural Landscape Reports established by the National Park Service (NPS). It includes a summary history of Wattles Estate and its historic significance, a detailed description of the current condition of the site, an analysis of the site's historic integrity, a summary of rehabilitation in the last two decades and treatment recommendations for its continued maintenance and rehabilitation.

A variety of sources were consulted regarding the appropriate method of analysis for evaluating historic significance and integrity for The Mansion and Gardens. These sources include various technical periodicals published by the National Park Service, specifically: "Preservation Brief 36: Protecting Cultural Landscapes;" "National Register Bulletin 18: How to Evaluate and Nominate Designed Historic Landscapes;" A Guide to Cultural Landscape Reports, 1998; the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties and the bulletin Landscape Lines (issues 2, 3, 9, and 12). Other sources consulted include "Integrity as a Value in Cultural Landscape Preservation" (an essay in Preserving Cultural

Landscapes in America, Alanen and Melnick, editors, 2000). The definitions and philosophies contained in these documents provide the framework for federal policy regarding the preservation of historic buildings and cultural landscapes. They were used in this project, in conjunction with the Secretary of the Interior's Standards, to define appropriate treatments for maintenance, stabilization, and rehabilitation.

While original plans were not available, collections of historic photographs were used extensively in the research. Original ledger books, correspondence, bills, and other Wattles family documents were utilized, as well as Gurdon Wattles's autobiography. The research process included a review of documents in the possession of the Los Angeles Department of Recreation and Parks and the Wattles Collection of Hollywood Heritage Inc. Betty Brill, grandniece of Gurdon Wattles, was interviewed January 20, 2001 at Wattles Mansion.

The 1992 Historic Structure Report included measured drawings and a maintenance and specifications manual. The research and documentation process for the 2002 Cultural Landscape Report included a detailed topographic

survey of the main areas of the site, specifically the Orchard (Community Gardens); Mansion, Entrance, Lawn, and Service Areas; the Formal Gardens; and the American Garden (Wattles Garden Park).

The site of the historic Japanese Garden was not included in the survey nor were the steep, densely overgrown, mountainous hillsides due to difficulty of movement in these areas and lack of funding during this phase.

Wattles Mansion and Gardens meets the criteria and integrity thresholds that make it eligible for listing in the National Register of Historic Places (NRHP) as an estate, one type of historic designed landscape. The characteristics of the Mansion and component landscapes of the site are remarkably intact and, as such, the site conveys its historic significance exceptionally well. It is recommended that the property be formally listed in the National Register to facilitate grants and fundraising.

A period of significance has been established for the site, which corresponds to the period that Gurdon Wattles Sr. occupied the property. This period begins in 1905, the year of purchase, and

extends to 1932, the year of his death.

APPROACH TO THE HSR PROCESS

A Historic Structure Report is the primary type of document used to guide treatment and use of historic structures managed by the National Park Service (NPS). Caretakers of historic sites and preservation organizations use such documents to provide base line data on the current condition of their facilities and to assist in analyzing rehabilitation options.

In 1991 revisions to the guidelines that direct cultural resource management activities allowed for greater flexibility in format and levels of research for Historic Structure Reports. The proposed ultimate treatment, level of significance of the resource, and threats to the condition of the resource were noted as variables to be taken into consideration when establishing the scope of such documents. At the same time, NPS emphasized that the documents:

should focus explicitly on issues related to building fabric and should address all aspects of construction history—including recordation of preservation treatment...and recommends that the content and organization of an Historic Structure Report be structured to ease its use as a reference in decision-making.

The following policy statements direct the preparation and ongoing use of an HSR:

- Historic Structure Reports are reference documents for the purpose of minimizing the loss of significant fabric during restoration or rehabilitation work.
- Historic Structure Reports should be defined to include any of the following: physical history and condition, alternative ways to meet management objectives, and specifics of actual treatment.
- Historic Structure Reports should be restricted to information bearing directly on historic material and character. In particular, historical research should be focused on the development and use of the structure.
- Historic Structure Reports should not unnecessarily republish information available from other convenient sources.
- Historic Structure Reports should be required whenever existing information about the physical history and condition does not provide an adequate basis upon which to address anticipated management or

owner issues and when impeding development could have a significant adverse effect.

- Historic Structure Reports should be prepared for the entire structure. Time and money spent on an Historic Structure Report should be limited by management or owner objectives and the structure's significance.
- Historic Structure Reports should be written for primary audiences, maximize the use of existing reliable information, and minimize its reformatting.
- Historic Structure Reports may be undertaken on an incremental basis when time and resources are limited.
- Flexibility in formatting an Historic Structure Report is important to maximize communication between the professionals preparing the report and the management or the owner, to allow the use of existing information, and to use new information for other purposes.

The current definition of a Historic Structure Report was developed and refined by the National Park Service and published in technical materials and in the Association for

Preservation Technology (APT) Bulletin of 1997. Discussion of Historic Structure Reports in that Bulletin uses a definition that was used as the basis for this report. This definition states that:

An Historic Structure Report is to provide a definitive analysis of the physical history of a structure through research and trained observation. In addition to documenting significance, history, and condition, the Historic Structure Report then serves as the vehicle to determine appropriate subsequent rehabilitation and maintenance efforts. The National Park Service, APT, ASTM (American Society for Testing and Materials) and others have prepared technical materials to assist professionals in preparing Historic Structure Reports according to current standards. In particular:

(The ASTM Guide) provides a list of reference documents related to Historic Structure Reports, a discussion of their significance and use, approaches and procedures for preparing and using Historic Structure Reports, and suggestions for the disciplines from which Historic Structure Report team members may be drawn. Historical research, site inspection, methods of documentation, field testing and sample review, laboratory testing

and materials analysis, evaluation of research and inspection results, and development of treatment recommendations are addressed, in addition to content, organization, application, and distribution of Historic Structure Reports.

The Historic Structure Report for the Wattles Mansion presents an itemized review of elements of construction and an evaluation of conditions. The Treatment component of this report is critical in establishing standards for the retention, repair, and maintenance of existing historic elements and materials.

The effort which produced the present document consists of several elements: first, research into archival, published, and oral sources which illuminate the physical history of the building; second, on-site analysis of the current conditions of the building's materials and features which would guide the recommendations for treatment; and third, creation of materials which allow users to easily access information about existing conditions, previous rehabilitation and proposed treatment.

Information about condition was collected at the site through field observation. Recommendations for treatment of the various materials

and elements that compose the structure were developed through analysis of the information in conformance with standard preservation practice.

ORGANIZATION OF REPORT

This document reflects the current methodology of NPS on the subject of Historic Structure Reports and is therefore organized into the following parts:

History and Context. This consists of a historical background and context which establishes a period of significance; a chronology of development and use which details the physical construction, alterations, and use of the building.

Architectural Description. The intention of this section is to provide a baseline description of existing conditions, including the results of field observations and the documentation of existing interior and exterior conditions based upon visual inspection. This includes an inventory of materials, features and their period of construction, installation or modification. All elements or features that are deemed character defining or significant should be specifically identified to ensure their retention and protection.

Record of Treatment for the building and site features. This

section documents work at the site and is intended to be an ongoing record. It consists of “completion” reports that summarize the intent of the work, methods used to accomplish the work, time, and cost requirements. Previous data is included in this section, but data should be added in the future to create a complete record of all work at the site.

Recommendations. This is a concise statement of recommendations that are based on the observations and conclusions established by the earlier chapters. These may include general and specific treatment recommendations and alternatives, applicable programmatic recommendations, an outline of a prioritized scope of work, and cost estimates.

WATTLE MANSION and GARDENS
Historic Structures Report



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WATTLES MANSION and GARDENS
Historic Structures Report

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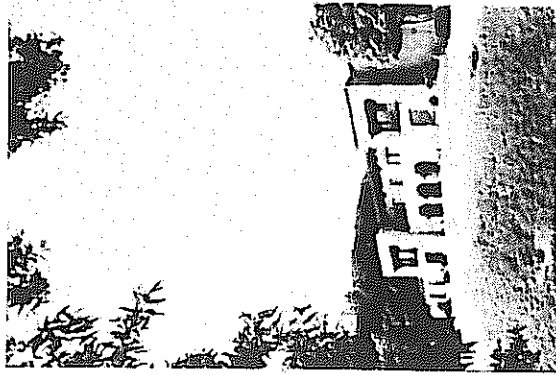
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INTRODUCTION



"Jualita," view from the southeast.

PROJECT BACKGROUND

The Wattles Mansion, otherwise known as "Jualita," was designed by Myron Hunt and Elmer Grey as a winter home for Gurdon Wattles. It was built in 1907 on a 49-acre site set in the Hollywood Hills overlooking Los Angeles. An addition was constructed in 1921, and another built later in the 1920s. The front of the house was landscaped with an expansive lawn leading to avocado and orange groves, while the rear of the site was developed into formal gardens, including a rose garden, terraces and a Japanese garden. The avocado and orange groves were opened to the public during World War II as "Victory Gardens." After the war, most of the groves were deeded to the City of Los Angeles and have become the Wattles Farm Public Gardens.

Currently, the mansion and approximately 3.5 acres of the site are occupied by Hollywood Heritage, Inc. The Wattles family sold the Mansion and the remainder of the estate to the City of Los Angeles in the early 1970s with the intent that the mansion be maintained, restored and preserved in memory of Gurdon Wattles. Hollywood Heritage, Inc. is a non-profit preservation organization that leases the Wattles Mansion for its preservation

and administration headquarters from the City. The ground floor is unfurnished and is used both for meeting space and as a site for weddings, private parties and movie and television filming. The west bedrooms on the second floor house offices for Hollywood Heritage, Inc.; the remainder of the bedrooms are empty, though they have functioned as office space in the past. A caretaker lives on-site and occupies the former servants' quarters at the east end of the second floor. The half-basement and the caretaker's cottage east of the mansion are used as storage space. The Rosenfelder Collection of books, photographs and memorabilia is currently housed in the mansion, as is a small KABC television photograph collection and the "Hollywood Historic and Architectural Resources Survey." The mansion is available as a rental site for filming and social events. All revenues from leasing of the mansion go into its maintenance and restoration; rental revenues are an important source of funding for the restoration of the mansion being performed by Hollywood Heritage, Inc.

In 1989, Hollywood Heritage, Inc. received a State History and Archeology Grant for the preservation and rehabilitation of the Wattles Mansion. At that time, Hollywood Heritage Inc.

contracted with Architectural Resources Group to prepare a Historic Structures Report and Preservation Plan.

The mansion is generally in good condition. It is currently well maintained on a day-to-day basis, so its problems are mainly the result of deferred maintenance in the past and the on-going natural degradation of aging building systems. Faulty or archaic construction methods or details in the original construction contribute to these problems. Vandalism also plays a large role in the deterioration, particularly in the garden.

Site observations were initially made by Architectural Resources Group and Emmet Wemple Associates, Landscape Architects, on Wednesday, March 14, 1990. There have been several subsequent site investigations over the course of two years. At first, observations were recorded for a preliminary report to deal primarily with the issues addressed in Hollywood Heritage, Inc.'s 1988 History and Archeology Grant Application. The purpose of the first site visit was to determine priorities for the major work elements listed in the Application and to determine whether there were any additional tasks that required immediate attention. After the initial prioritization of work, site visits were instrumental in recording existing conditions for the preparation

of construction documents to rectify the problems identified. These drawings were prepared in 1992 and the first phase of work was carried out in 1992 and 1993. The work included modifications to the electrical system, installing a new main roof for the house and removing and stabilizing perimeter roof tiles. Work that has been accomplished during the development of this Historic Structure Report is indicated with a "Note" in parentheses. Alternative ways of providing disabled access onto the site and into the building are now being studied. In addition, alterations to the ground floor restrooms have been studied to make them accessible to the disabled.

ACKNOWLEDGEMENTS

Sources

- 1988 History and Archeology Grant Program Application
- License Agreement between Hollywood Heritage, Inc. and the City of Los Angeles, September 1986.
- Extension of License Agreement between Hollywood Heritage, Inc. and the City of Los Angeles, August 1989.

Client/Project Committee

Hollywood Heritage, Inc.

- Donald Hunt Chairman
- Cristy McAvoy Board Director
- Steve Sylvester Managing Director
- Tim Brandt Board Member

Authors

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- Cathleen Malmström Senior Associate
- Douglas R. Taylor Senior Associate
- David Wessel Senior Associate
- David Karmon Associate

II. ADMINISTRATIVE DATA

OWNERSHIP

The entity legally responsible for the building's preservation is City of Los Angeles, Department of Recreation and Parks, 221 N. Figueroa St., Suite 1550, Los Angeles, California 90012.

CULTURAL RESOURCES

In order for a building to qualify for listing in the National Register, the California Register, or as a locally significant property, it must meet one or more identified criteria of significance. The property must also retain sufficient architectural integrity to continue to evoke the sense of place and time with which it is historically associated.

The Wattles Mansion and Gardens has been evaluated as eligible for listing in the National Register of Historic Places and therefore is eligible for listing in the California Register of Historical Resources.

The Wattles Mansion is also listed as a Historic-Cultural Monument by the City of Los Angeles. It was designated Historic-Cultural Monument No. 579 on May 25, 1993. Therefore, any work on the site that requires a building permit from the City of Los Angeles

requires review and approval by the Cultural Heritage Commission or their staff, in particular, the Office of Historic Resources staff in the Planning Department. The Commission and its staff apply principles which are similar to the Secretary of the Interior's Standards for Rehabilitation with respect to maintenance of historic character. Further explanation of this designation follows.

CITY OF LOS ANGELES HISTORIC-CULTURAL MONUMENTS

The Los Angeles City Council designates Historic-Cultural Monuments on recommendation of the Cultural Heritage Commission. Designation recognizes the unique architectural value of certain structures and helps to protect their distinctive qualities.

Sec. 22.130 of Article 4 of the City of Los Angeles Administrative Code defines an historical or cultural monument as:

any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic

structures or sites in which the broad cultural, economic or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The Wattles Mansion and Gardens has been designated a monument because it is a site of historic and architectural importance. Designed by noted architect Elmer Grey for banker Gurdon Wattles, it is one of the best preserved and most impressive early 20th Century Estates remaining in Hollywood. The Wattles Mansion and Gardens is significant not only for the quality of its design, construction, decorative finishes and arts and cultural landscapes, but also for its association with the Wattles family, and for its role in the history and culture of Los Angeles.

NATIONAL REGISTER OF HISTORIC PLACES

The National Register of Historic Places, administered by the National Park Service (NPS), is “an authoritative guide to be used by federal, state, and local governments, private groups, and citizens to identify the nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.” However, the federal regulations explicitly provide that National Register listing of private property “does not prohibit under federal law or regulation any actions which may otherwise be taken by the property owner with respect to the property.” Listing in the National Register assists in preservation of historic properties through: recognition that a property is of significance to the nation, the state, or the community; consideration in the planning for Federal or federally assisted projects; eligibility for Federal tax benefits; considering in the decision to issue a surface coal mining permit; and qualification for Federal assistance for historic preservation, when funds are available.

To be eligible for listing in the National Register, a resource must possess significance in American history and culture, architecture, or

archaeology. Listing in the National Register is primarily honorary and does not in and of itself provide protection of an historic resource. For projects that receive Federal funding, the Section 106 clearance process must be completed. State and local regulations may also apply to properties listed in the National Register.

The Wattles Mansion was evaluated for listing in the National Register of Historic Places on December 21, 1988.

CALIFORNIA REGISTER OF HISTORICAL RESOURCES

The California Register of Historical Resources is an authoritative guide used by State and local agencies, private groups, and citizens to identify the State's historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change.

The criteria for eligibility for listing in the California Register are based upon National Register criteria. The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

California properties listed in the National Register of Historic Places (Category 1 in the State Inventory of Historical Resources) and those formally Determined Eligible for listing in the National Register of Historic Places (Category 2 in the State Inventory).

California Registered Historical Landmarks from No.0770 onward.

Those California Points of Historical Interest that have been evaluated by the Office of Historic Preservation (OHP) and have been recommended to the State Historical Resources Commission for inclusion in the California Register.

Other resources that may be nominated for listing in the California Register include:

- Historical resources with a significance rating of Category 3 through 5 in the State Inventory. (Categories 3 and 4 refer to potential eligibility for the National Register, while Category 5 indicates a property with local significance.)
- Individual historical resources.

- Historical resources contributing to historic districts.
- Historical resources designated or listed as a local landmark.

As a result of the eligibility for listing in the National Register of Historic Places (Category 3S in the State Inventory), the Wattles Mansion is eligible for listing on the California Register of Historical Resources.

RECOMMENDATION FOR CATALOGUING OF MATERIALS

Copies of this Historic Structure Report should be kept in the offices of City of Los Angeles Recreation and Parks, Los Angeles Office of Historic Resources, Hollywood Heritage, Inc., at the site and at the South Central Coastal Information Center at the University of California, Fullerton (the designated repository for the California State Office of Historic Preservation).

ACKNOWLEDGMENTS

A Historic Structure Report is prepared with the support, cooperation, and contribution of organizations and individuals. Each of the following has made notable contributions to the process of gathering information, analyzing data, and making recommendations.

HOLLYWOOD HERITAGE, INC.

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Christy Johnson McAvoy
Frances Offenhauser
Natalie Shivers
Alan Simon
Steven Sylvester

CONSULTANTS

Architectural Resources Group
Historic Resources Group
EIP Associates

THE WATTLES FAMILY

Gurdon Wattles, Jr.
Betty Brill

CALIFORNIA STATE OFFICE OF HISTORIC PRESERVATION**PRESERVE LA GRANT PROGRAM, J. PAUL GETTY TRUST**

III. HISTORY AND CONTEXT

HISTORICAL BACKGROUND AND CONTEXT¹

THE PURCHASE

Enchanted with Southern California and planning to build a retirement home, Gurdon W. Wattles, a wealthy banker and railway company president from Omaha, Nebraska, purchased ninety acres of property in Hollywood, California in 1905. Soon thereafter Wattles developed the property into one of the most impressive estates in Southern California, a place he named Jualita. Jualita became famous throughout Southern California for its elaborate design, which featured formal gardens and naturalistic landscapes with an abundance of flowers in a beautiful mountain setting.

Wattles was attracted to the Hollywood site by its proximity to the mountains, its natural beauty, the views it offered, and the Southern California climate. The chaparral-covered Santa Monica

Mountains dominated the landscape. On a clear day one could see the ocean from the Wattles property and much of the Los Angeles basin. Located on the western edge of the newly incorporated town of Hollywood and a mile west of its small town center, Wattles's new property was nestled against the mountains and surrounded by small farms and orchards.

In April 1905, Wattles paid \$3,000 to William Holler and Mrs. E. A. Moore for the ninety acres. The property purchased by Wattles was divided into two basic parts: a vast expanse of mountainous area (eighty acres) and a long, narrow strip of land descending from the mountains south to Hollywood Boulevard (ten acres). The upper part of the property was divided into two equal-sized, adjacent forty-acre squares. The lower portion of the property was bounded by Hollywood Boulevard on the south, Curson Avenue on the west, Sierra Bonita Avenue on the east. From the south end of the property to the foothills at the north end, the property rose nearly 1,000 feet in elevation.

At the time of Wattles's arrival, Hollywood was a growing suburb of Los Angeles with approximately 1,600 residents. The City of

¹ This section has been excerpted from the 2002 *Wattles Estate and Gardens Cultural Landscape Report*.

Hollywood had been incorporated in 1903 and had established a major hotel, a high school, and a library. Several small newspapers served the town and transportation to Los Angeles was possible via streetcar. Gardens were already a part of the city's image. Artist Paul De Longpre had purchased three adjacent parcels of land at Hollywood Boulevard and Cahuenga Avenue in 1902 and constructed a grand residence surrounded by a profusion of flowers and vine-covered arbors. Edmund D. Sturtevant's Cahuenga Water Gardens, which featured tropical water lilies, were nearly as famous as De Longpre's flower gardens. While tourists were beginning to visit De Longpre's mansion in greater numbers, local business leaders were encouraging the further development and subdivision of the land, promoting Hollywood as a beautiful new suburb. Estates surrounded by lemon orchards dotted the landscape.

Gurdon Wattles, who was one of the wealthiest men in Southern California in 1905, began his career as a teacher. Born in Richford, New York in 1855, Wattles and his family lived on a farm in New York. The family moved to Iowa when he was a young man. After attending Iowa State College, Wattles worked

as a teacher, a school principal, and a school superintendent. He studied law briefly, sold school furniture, and worked in a small law office. After a few months, Wattles's boss decided to organize a bank and offered him a loan to become a partner in the new business. Wattles accepted. Over the next decade, Wattles made a series of very profitable investments and became a successful banker. He was named Vice President of Union National Bank and later President of United States National Bank. He served as Chairman of the Board of Directors of the Omaha Street Railway, President of the Trans-Mississippi and International Exposition in Omaha in 1898, Nebraska Commissioner at the Saint Louis Exposition in 1904, and a delegate to the 1904 Republican National Convention.

Wattles first came to Hollywood during a visit to California with his wife, Jennie Leete Wattles, sometime around 1904. In his autobiography, Wattles describes his first (and unfavorable) impression of California:

One spring Mrs. Wattles visited her parents, who had removed from Iowa to Santa Barbara, California, where their son, Charles N. Leete, resided, and was charmed with all she saw. Later her niece, Carolyn Leete, who was born in Santa Barbara, visited us, and, like

all true Californians, she praised her native State in the highest terms. The following spring I went with my wife to visit this charming country with which she had been so fascinated; but on this first visit it had rained nearly every day for two weeks, as I had never seen it rain before, and I came home quite disgusted with California.

A subsequent visit a year later, however, changed his mind.

The next spring we went back; this time we found the usual sunshine and soft air, and were so charmed that I determined to buy and improve a place, so when the time came for me to quit work I would have a home for rest and relaxation. I had always remembered the high hill and creek flowing down through a depression, making a series of waterfalls, which was behind my childhood home at Padlock, New York. Many years spent on the prairies of the Middle West had brought a desire to live again near the mountains. With the help of a friend, I selected and purchased ninety acres in Hollywood, a suburb (now a part) of Los Angeles.

After Wattles's purchase of the site in 1905, he contracted with two well-known architects in Southern California, Myron Hunt and Elmer Grey, to plan and design his winter estate.

INITIAL DEVELOPMENT, 1905–1910

Myron Hunt (1868–1952) and Elmer Grey (1871–1963) designed large houses for many of Southern California's most prominent families. The architects, both of whom had relocated to California from the Midwest, were becoming well-known for their blend of Spanish, Italian, and other architectural styles into a new Southern California architecture.

Elmer Grey, who moved to Southern California in order to recuperate from an illness, worked on the nearby farm and orchard of Colonel Robert Northam in Hollywood when he first arrived in the late 1890s. Northam's home and orchard were located south of Prospect Avenue (now Hollywood Boulevard). Edwin O. Palmer describes Grey's first years in Hollywood.

In 1901, Col. Robert Northam, a wealthy, middle-aged, robust city horse fancier and liveryman, bought the block south of Prospect Avenue between Vine Street and Ivar Avenue and built in the center of its beautiful orange grove a large residence of the Spanish type with a spacious patio. He lined his broad curved driveway with date palms... This for many years was one of Hollywood's show places. He brought to town a beautiful young wife, some fast trotting horses, and one magnificent saddle horse. He advertised for a farmhand who could handle horses and in response

employed a pale, thin, neurotic young man who had chosen physical outdoor labor as an antidote for inside mental work. The callow youth in overalls exercised horses and irrigated the orchard by day and danced at the hotel in a tuxedo at night. This was not satisfactory to the esthetic taste of some of the guests. The young man improved rapidly and became better known as the architect, Elmer Grey...

Grey had come to California from Milwaukee where he had been a successful architect, a well-regarded painter, and a published author. He had designed several prominent homes in Wisconsin and, in 1898 while employed by the firm of Ferry and Clas, designed the Milwaukee Public Library. In 1899, Grey was awarded first prize in a competition sponsored by the *Engineering and Building Record* for a water tower and pumping station. An accomplished artist, his watercolors were purchased as part of the permanent collection of the Chicago Art Institute.

Within a few years of his arrival, Grey had formed a partnership with Myron Hunt. Hunt was born in 1868 in Boston and began his architectural career there. In 1895, Hunt moved to Chicago where he worked in the office of Frank Lloyd Wright. After designing a number of prominent residences in the Chicago area, Hunt moved to Pasadena in 1903. Hunt and Grey

quickly built a clientele for their work, and by October 1906 their work was highlighted in *Architectural Record*.

Hunt and Grey designed distinguished residences for the Gillis and Spier families in Pasadena and the Cochran family in Los Angeles prior to their project for Wattles. Drawing upon their earlier work and taking advantage of the characteristics of the site, Hunt and Grey designed a two-story Mediterranean house with a formal, terraced garden surrounded by open space. Working together with Gurdon Wattles, the architects sited the residence to face south at a location approximately halfway between Hollywood Boulevard and the foothills. They created a dramatic perspective of the house with mountains behind from Hollywood Boulevard. The house was set back at an elevation that allowed for views of Los Angeles to the south and, on a clear day, the Pacific Ocean to the southwest. The formal gardens behind the house framed a view of the mountains to the north.

Hunt and Grey's design for the house incorporated a low-pitched tile roof, stucco-covered walls, projecting beams at the second level, and three large archways on

the south elevation. The design was typical of Hunt and Grey's attempts to merge traditional planning and design with regional style, creating a new architecture for Southern California. Regarding this blend of styles, Grey wrote:

All around Pasadena and Los Angeles much of the architecture is beautiful by reason of its having a character of its own. The local architects have frequently considered the oaks in designing their building; and in many instances have built a porch, pergola, or balustrade around a spreading tree, forming a patio or terrace of unusual beauty. A number have also succeeded in instilling into their work a suggestion of the architecture of the Mediterranean countries; and whether because of the similar climate, or of the Spanish influence of the missions and near-by Mexico, at any rate, the result harmonizes exceedingly well with the California landscape. The buildings are not Spanish in style, nor are they Italian; they are distinctly Californian, but the foreign influence pervades them and lends an additional charm. A suggestion of the architecture of Japan has also been used with good effect, and the two adaptations go far toward giving Southern California a distinctive architectural style.

The interrelationship of architecture, natural landscape, and gardens was an integral part of Hunt and Grey's design philosophy. They argued that the Southern California house must be integrated with its site. Grey wrote in *The*

Architect and Engineer (December 1916):

The greatest joy of home making and home living in California is however, derived from its gardens. Here the climate bestows its most winsome smile; here man is highly favored by the elements instead of battling against them; here, indeed, he finds what a home in the Far West really means.

In the East begonias, fuchsia, rubber plants and the like are grown in hothouses, or carefully nurtured in pots during the summer so they can be taken indoors over winter. In California many of the Eastern houseplants grow wild, begonias and fuchsias assume proportions of immense tropical-looking growth, while rubber plants become enormous wide-spreading trees.

Every up-to-date house in California is planned with its garden related thereto. The principal rooms face the garden and are made easily accessible to it. What in the East is the "back-yard" is here a lovely garden, hedged in from prying eyes by a border of tall shrubbery usually, while between this background and the house are stretches of lawn, masses of gorgeous bloom, or perhaps in a shady corner, ferns and semi-aquatic plants nodding over some little pool. Nothing adds more to the joy of a home than does such an environment, whereby one may look out day by day upon the shrubs, the lawn, or the flowers of one's choosing and care. Garden adjuncts such as pools, balustrades, and the like are much more easily obtainable in California than elsewhere, for the water in the pipes that feed the pools

does not freeze, and the foundations of balustrades do not have to go down six feet below ground to escape frost.

The application of these ideas is evident in Hunt and Grey's design for the formal garden behind the Wattles Mansion. Later known as the Spanish Garden, it features concrete terraces and brick pathways arranged in an axial configuration. The rectangular shape of the garden, which is longer from north to south than it is from east to west, reflects the shape of the lot and emphasizes the view towards the mountains. The exterior walls, made of concrete and covered with stucco, were topped with clay tiles, matching the Mansion roof.

A brick pathway and stairs ascend from the house through the garden to a semi-circular pond and fountain. Using architectural elements such as balustrades and archways, Hunt and Grey juxtaposed a formal garden and a natural mountain setting to create a striking effect.

The plantings in the formal garden included lawn, palm trees, Century plants, and flowering vines and bushes. Using these plant materials, Hunt and Grey further emphasized the contrast between formal and naturalistic elements. Describing his work at Wattles in

an article in Scribner's Magazine in July 1912, Grey wrote:

From Los Angeles to the ocean, a distance of about twenty miles, a magnificent boulevard skirts the foothills, connecting several suburbs on the way. The first of these is Hollywood, a district recently annexed to Los Angeles. It has beautifully shaded streets, but is conspicuous in a more unusual way for the manner in which the sides of its hills and canyons have been utilized for building purposes. Out of two of these hills and an intervening canyon, which at one time may have seemed to many like almost worthless property, was made one of the showplaces of California. It consists of an extensive terraced garden backing upward into the canyon. The lower portions around the house are surrounded by walls and connected to the upper levels by many flights of balustraded steps. Originally the property was bare save a covering of sagebrush; now it is an ensemble of luxuriant semi-tropical foliage and flowers, half-hidden architectural features, mirrored water effects and beautiful foothill background.

The mansion was completed in 1909. In addition to the residence and the formal garden, three service drives were platted, paths up into the mountains were cleared, a perimeter fence was installed around the lower portion of the property, and a variety of trees, bushes, and flowers were planted, including an orange orchard.

Between the orchard, which covered the southernmost portion of the estate, and the mansion was the front lawn. The front lawn was an open grassy area formed into a series of gently sloping terraces. It served as a dramatic foreground to the mansion, allowing an unobstructed view of the front elevation. The original design called for a retaining wall to create a larger area of flat ground in front of the house, as shown in an illustration in *Inland Architect and News Record* (November 1908), but this concept was apparently rejected in favor of the uninterrupted sloping lawn. At the lower, south end of the lawn, a curved east-west service drive flanked by flowering bushes connected the main driveway with the driveway to the kitchen entrance.

The hillside to the east of the mansion and the mountainous area to the north were left largely undeveloped, save for a few dirt pathways leading up into the mountains. A modest wood frame house appears to have been located northwest of the mansion in the western canyon. This house, no longer a part of the property, may have served as stables or a garage for the Wattles estate.

The Wattles family stayed in the house for the first time in the spring of 1909. Wattles arrived with his family including his wife, Jennie Leete Wattles, and their two young daughters, Margaret and Mary. The Wattles had adopted the two girls from an orphanage in Omaha around 1905. As many as fifteen to twenty service staff employees may have worked at Wattles Mansion at any given time, including cooks, maids, gardeners, and a chauffeur. The family would stay for three months each winter before returning to Omaha. In 1913, for example, they occupied the estate during the months of February, March, and April. They seem to have made great use of the gardens for strolling, picking flowers, entertaining relatives and guests, and other activities.

In 1909, Wattles began to develop the south end of the site as an agricultural area. It is not known what role, if any, Hunt and/or Grey may have had in its development. Two large eucalyptus trees were retained. The remainder of the land was cleared and fruit trees and row crops were planted. Flowering vines were planted along the west perimeter fence. Flowering bushes were planted at the edge of the east-west service drive. Wattles was following a pattern already well-established in Hollywood,

which was well-known for its temperate climate zone.

A variety of crops was grown in and around Hollywood, but the area was most famous for its lemons. A lemon-packing house had been constructed by local growers who formed an organization known as the Cahuenga Valley Lemon Association. In the quarter century prior to Wattles's arrival, Hollywood also had become known as an area of agricultural experimentation, with new fruits being grown for the first time in Southern California, including cherimoyas, several varieties of avocado, even pineapples. Jacob Miller, a neighbor whose ranch was located west of Wattles's estate in Nichols Canyon, had been experimenting with growing a variety of types of crops since the late 1800s. Water was provided by a series of wells and a small, local water service based in the small town of Sherman (later known as West Hollywood). Oranges were less prevalent than lemons. Mr. Curson, after whom Curson Avenue is named, was reported to have one of the largest orange orchards in Hollywood.

Around 1909, Mr. Wattles also appears to have begun planting an extensive rose garden north of the formal garden designed by Hunt

and Grey. It is not known whether Hunt and Grey were involved in the plans for this garden. A small garden of flowering bushes and pathways was also established west of the formal garden and north of the driveway.

ITALIAN, JAPANESE, AND AMERICAN GARDENS, 1911–1912

In 1911, Mr. Wattles hired Elmer Grey (this time without Hunt) to design an extension to the formal gardens on the north side of the residence, terracing up the hillside. By 1911, Hunt and Grey had ended their partnership. They had worked together seven years and designed many private residences, including the Henry E. Huntington Mansion in San Marino.

In the area of the rose garden, Grey designed a second formal garden north of the Mansion that would later become known as the Italian Garden. Incorporating the rose plantings already in place, Grey added an extension of the brick pathways and clay tile-covered retaining walls, two pergolas, and a circular reflecting pond. The extension of the gardens was described in detail in the Real Estate and Finance section of the October 1, 1911, edition of the Los Angeles Examiner. The headline read: "Omaha's Street Railway Magnate Spending Thousands of

Dollars in Beautifying Grounds of Winter Home.”

USE AS SECOND HOME, 1913-1919

Soon after the initial completion of the gardens, in 1914 Wattles and his family began living at Jualita six months a year, during the summer and winter months. Now age fifty-nine, Gurdon Wattles had discovered that the summer climate in Hollywood, cooled by breezes from the Pacific Ocean, was more comfortable than the summer climate in humid Omaha.

As Wattles began to spend more time at his new California estate, he began another round of improvements. Rather than adding new areas, he focused on improving the four show gardens he had created. The American Garden, in particular, saw a number of enhancements in or around 1915 and 1916, including the construction of a long, formal arbor with stucco-covered concrete posts designed by Elmer Grey. The new arbor, which Wattles referred to as a pergola, replaced the original wood post arbor along the path closest to the east hillside and stretched from the north end of the Italian Garden to the entrance to the Japanese Garden. A retaining wall was constructed along the east hillside. Recessed into the wall were several niches with built-in

benches facing the path as it ascended to the Japanese Garden and the mountains. Flowering shrubs, vines, and ferns were planted next to the retaining wall.

It was also during this period that a large neo-classical pavilion was installed in the American garden. Circular in plan, it featured classical stone columns and a round dome. The pavilion was installed in an area of grassy lawn in the lower part of the American Garden. It was soon covered in flowering vines.

An arbor was added to the Italian Garden in 1916. Constructed of metal pipe and covered with flowering vines, the arbor covered the garden’s central north-south path and framed a view of a large urn at the north end.

During these years, Wattles continued to work in Omaha six or more months out of the year and retreat to California in the winter and summer. Margaret and Mary Wattles were teenagers by this time, spending part of each year in each place. In 1916, Mrs. Jennie Leete Wattles, who had been sick for many years, traveled to Chicago for an operation. She died at Presbyterian Hospital in Chicago on May 25, 1916. After Jennie’s death, Gurdon Wattles sent his daughters to boarding school at Dana Hall in

Wellesley, Massachusetts. Lonely, he immersed himself in his business and, after a period of months, resolved to find a new companion. Writing about that period in his life, Wattles stated:

One spring my niece, Carolyn, and her family joined me for three weeks at my California home; and then I spent a day and a night there alone. I wandered through the gardens and among the flowers, but I could not appreciate their beauty. The following day I started for Omaha...

A few years later, Wattles was appointed Federal Food Administrator for Nebraska and, during his service, met the director of home economics, Julia Vance, at the University of Nebraska. In 1918, they were married. Julia was thirty-five; Gurdon was sixty-three.

PERMANENT RESIDENCE 1920-1932

In 1920, Julia gave birth to a son, Gurdon Wattles Jr., at Jualita. Wattles, his bride, and their infant son moved to Hollywood permanently the same year. Wattles established an office in downtown Los Angeles.

Wattles again began to take pleasure in the gardens and several small changes were made. The Spanish Garden, which was originally planted with yuccas, palms, and lawn, took on a new character. Some of the original

plantings thrived, growing larger and changing dimension. These plantings were trimmed and pruned into rounded shapes. Other plantings were replaced over time, either due to a failure to grow or changing tastes. The result of natural plant growth, trimming and pruning, and new plantings was a manicured, formal appearance. Tall Italian Cypress trees came to dominate the western edge and north end of the garden.

Adaptations were made to the residence as well. An entry and porte-cochere were added at the driveway entrance, making the entrance more formal.

By the 1920s, Hollywood had changed dramatically. An article in Hollywood Daily Citizen documented the change in 1922, displaying two photographs taken from the north side of the Wattles property showing the Mansion in the foreground. The first, taken in 1909, shows Hollywood as an agricultural area with a few farmhouses. The second, taken in 1922, shows the same area transformed into a suburban neighborhood with hundreds of single-family residences lining a grid pattern of streets. Hollywood had become famous as the movie capital of the world. A few miles to the east of the Wattles property,

Hollywood Boulevard was developing into a major urban area, a secondary downtown. Theatrical entrepreneur Sid Grauman constructed a lavish new movie theater, the Egyptian, on Hollywood Boulevard in 1922. Three skyscrapers were constructed at the corner of Hollywood and Vine in 1923, 1927, and 1929 respectively. Several new subdivisions, one called Hollywoodland, opened in 1923.

The hills and canyons would soon be developed as well. Curson Avenue was subdivided into more than 30 different lots. In 1924 Wattles constructed a home and garage at 1859 Curson Avenue for Alexander Urquhart, his head gardener. During the 1920s, houses were built across Curson Avenue from the Wattles's home at 1737 Curson (1921), 1743 Curson (1921), and 1753 Curson (designed by noted architects Morgan, Walls, and Morgan, 1923). Wattles may have been involved in one or more of these transactions in the 1920s as he is listed as the owner of the Bidwell property at 1825 Curson Avenue in 1926.

In the mid-1920s, Wattles became personally and financially involved in the development of the Hollywood Hills when he began the process of subdividing and selling

the northwest 40 acres of his property. The land was cleared, Curson Avenue extended, streets platted, and lots established. On February 22, 1925, an article in the "Community Development" section of the Los Angeles Times described the new subdivision at the top of Curson Avenue:

A hillside area that provides an exclusive feature by the handiwork of Nature is Wattles Park, a residential development one block north of Hollywood Boulevard and fronting on an extension of Curson Avenue. By an advantageous sloping of the hills, the tract is so situated that it forms a little community all of its own. Although commanding a view of the entire Hollywood and Los Angeles district, the development is protected from objectionable encroachments of business and industry by a hillside of verdure.

The article goes on to describe the changes to Curson Avenue and the proximity to Wattles Gardens:

From Hollywood [Boulevard] to the property there has been extensive development, especially along Curson Avenue. All approaches to the tract are through boulevards and streets lined with attractive residences and beautiful lawns, shrubbery, and gardens. Adjoining the property is Wattles Gardens, a showplace of international reputation. Here Mr. Wattles has created around his home an example of foothill landscaping that is seldom seen in Southern California. With terraces, rolling

slopes and Japanese water gardens, he has gained a considerable fame as a beautifier.

Wattles Estate was soon surrounded by residential development. Wattles personally benefited from the subdivision process, selling his land at a profit. But he was not so fortunate when the Stock Market crashed in 1929. Wattles had purchased municipal bonds for the development of the new city of San Clemente in Orange County and, when the city went bankrupt, he lost a considerable amount.

Over the years, the garden was used for numerous special events. Notable among them was the wedding ceremony of Mary Wattles and Wilson Bryans of Omaha in June 1930. Gurdon lived at Jualita and remained active in its affairs and the care of the gardens until his death in January 1932. He was 76 years old when he died, survived by his wife Julia, age forty-nine, daughters Mary and Margaret, both in their twenties, and son, Gurdon Jr., age eleven.

RESIDENCE OF JULIA WATTLES 1932-1977

After Gurdon Wattles's death in 1932, Julia and Gurdon Jr. continued to live at Jualita. During World War II, Gurdon Jr. served as a Japanese language officer. After

leaving the Navy in 1946, he attended Harvard Law School, graduating in 1949. He taught at Harvard for two years and then took a position with the United Nations Secretariat in the fall of 1950, working as an international lawyer, his career for more than twenty-five years.

Julia continued to live at Jualita after Gurdon Jr. left to pursue his education and a career. It is not known if Alexander Urquhart stayed on to manage and care for the gardens. Later, Ralph Brown, husband of Julia Vance Wattles's sister Mildred, took care of the estate. By 1965, Julia Wattles was eighty-two years old and the fate of Jualita was unclear. Maintaining the residence and gardens had become quite a burden. Gurdon Wattles Jr. began to negotiate a sale or transfer to the City of Los Angeles, which was interested in developing a park in the Hollywood Hills.

On March 4, 1965, the City of Los Angeles Board of Recreation and Parks Commission adopted Resolution 5135 designating the Wattles estate as an acquisition area. Funds in the amount of \$1,440,000 were requested from the State Beach, Parks, Recreation, and Historical Facilities Bond Act of 1964. A little more than one year

later, in May 1966, the City of Los Angeles and the State of California entered a contract to purchase the property. That agreement stipulated that the property be developed for “multiple recreation uses,” that specific measures be taken if the property were condemned, and that the funds be used by June 30, 1968, or returned to the state.

In December 1967, the City requested an additional \$600,000 from the United States Department of Housing and Urban Development (HUD). An independent appraisal had valued the land at \$1,971,000 and more funds were required. The City’s request was approved in May 1968. Upon receiving the funds, Mayor Sam Yorty declared, “This is the last area available in the scenic Hollywood Hills that could be used as a recreation and park site. We are happy now that we can move ahead with purchase of the estate and preliminary plans to develop it into an outstanding attraction for our citizens to enjoy.” Having reached an agreement with Gurdon Wattles Jr. that the appraised value was acceptable, the City of Los Angeles purchased the property on June 7, 1968.

Regarding this period, Gurdon Wattles Jr. stated, “As for Jualita, the costs of maintenance and the

taxes rose far beyond what my mother and I could afford, so we sold the place to the City in 1968, as a public park, but the City allowed my mother to stay on in the house for the rest of her life. My mother kept pretty well until she was eighty-eight, continuing to drive her own car, doing gardening work, etc., but in January 1972 she had the first of a series of strokes... she died in November 1977, at the age ninety-four. We then gave up the house at Jualita.”

City records show that the escrow agreement stipulated that the name “Wattles Gardens” would be kept by the City of Los Angeles as the “official name of the facility.” No other stipulations about the future use of the property were made.

ACQUISITION BY THE CITY AND CONTINUED STEWARDSHIP

Prior to purchase, the City had developed preliminary plans for Wattles Gardens. The first plans, dated March 3, 1965, show the Orchard as “park area” with “trees, lawn, seating, congregation, amphitheater.” The Mansion is labeled “park center, museum.” Behind the Mansion, a new road is shown leading from the driveway to the northeast where it connects with several other paved roads leading up into the mountains. None of the gardens are shown in

the drawing; presumably, they were to be demolished. Massive sections of the hillside were to be graded and filled to create large flat recreation spaces and paved roads.

By the time of the City's purchase in 1968, however, the plans had been revised. The massive re-grading and road creation project was eliminated in favor of a plan that would create a "lower park" and an "upper park." The "lower park" would be developed in the Orchard and include new paths leading up towards the Mansion and a parking lot near Sierra Bonita and Franklin. The "upper park" would be developed with hiking trails and observation areas with another parking lot at the top of the mountain, probably accessed via Mulholland Drive. The Japanese Garden was not included in the plan.

Based on these plans, the City made significant alterations to the American Garden, eliminating the parterre garden, re-grading the slope, and planting grass to create a large area of lawn. The wood beams were removed from the concrete posts of the arbor due to deterioration. In the lower portion of the American Garden, near the public entrance, a new Japanese tea garden was constructed around a teahouse donated by Mayor Suito

of Nagoya, Japan, to the City of Los Angeles. The lower portion of the American Garden, near the north end of the Italian Garden, was re-designed in a Japanese style. A ranger station was planned for the area just north of the new plantings and sidewalks, but was never constructed.

Concrete flood control structures were installed in the American Garden. At the north end, a channel with steel grating was built. At the south end, a concrete, underground storm drainage system was constructed.

The City also rebuilt the original Japanese Garden in 1970-71 based on plans developed by Koichi Kawana, design consultant, and Yoshiro Befu, landscape architect, for the firm of Peterson and Befu." Using these plans, the City reconstructed the wood bridge, removed the shade pavilion with the thatched roof, cleared brush, left existing trees in place, repaired stone walls, raked paths, and removed dirt and debris from waterways and stonework. The plan also called for the removal of the teahouse, but the teahouse may have burned before this occurred.

The entrance to the historic Japanese Garden was re-designed. The last arbor pillar at the top of the American Garden was removed

and several new retaining walls were constructed. The old water pump was replaced and areas around the pump were re-graded. A new decorative Japanese-style fence and gate were constructed.

Vandalism at the park and in the Japanese Garden soon became a major problem. By the mid-1970s, park employees, visitors, and neighbors became concerned that the Japanese Garden would be destroyed altogether. Among others, French actress Corrine Calvet made a special appeal to save the Japanese Garden. Her photo appeared in the Los Angeles Herald Examiner in 1975 next to the vandalized shrine in the Japanese garden.

The gardens continued to deteriorate. One major cause was the lack of funds available to the Department of Recreation and Parks to maintain the property. Secondary causes were the high level of use the property was receiving and an economic decline in Los Angeles that particularly impacted Hollywood.

By the 1970s, most of the major studios had left Hollywood for Burbank, Culver City, or elsewhere. Movie premieres were more likely to be held in Westwood than Hollywood. Upper and middle-class homeowners were moving

out of the area. Grocery stores, department stores, and other neighborhood businesses and services were leaving, too. The area suffered from neglect and disinvestment. Hollywood began to experience the social problems common to many central cities: widespread poverty, unemployment, homelessness, prostitution, vandalism, and street crime.

Wattles Park could not escape the decline of Hollywood. Homeless people and runaways began living in the area of the Japanese Garden and the hills. At the same time, prostitution, drug dealing, and violence began to haunt the grounds.

Between 1974 and 1976 the City developed a new master plan for Wattles Gardens and hired the firm of Richard Bigler and Associates. The plan, published in September 1976, called for redevelopment of the site including re-grading of the orchard, erection of “an iron bandstand reminiscent of late 1800 Spanish architecture,” restoration of the formal gardens, addition of a parking lot, planting of additional palms in the American Garden, and construction of an observation point in the upper hillside. The plan was never implemented.

During this period, the City of Los Angeles, like many other California cities, experienced a significant decrease in funds available for park development, maintenance, or rehabilitation. A declining economy combined with the anti-property tax ballot measure Proposition 13, passed in 1978, resulted in disinvestment in city parks across California.

1978-PRESENT

Wattles Gardens were in a serious state of deterioration by the late 1970s and early 1980s. In 1979, granite stones marking the paths of the American Garden leading to the Japanese Garden were removed, a new catch basin was constructed, and electrical panels were relocated in the American Garden. In the winter of 1979-80, the rehabilitated Japanese Garden was destroyed by storms that caused a mudslide burying the ponds in more than four feet of sediment. By 1980, the teahouse donated by the City of Nagoya and the garden around it in the lower part of the park had been so vandalized that the City constructed a tall fence around the area to protect it.

The continuing deterioration of the Mansion and Gardens elicited concern from local residents and park visitors. In 1979, students at

Cal Poly Pomona drafted a plan to restore the gardens and submitted a proposal to the Los Angeles Bicentennial Committee. One graduate student, Ronald Ganzfried, conducted extensive research and wrote his Master's Thesis in Landscape Architecture on Wattles Gardens. His work was shared with a growing group of neighborhood advocates interested in the history of Hollywood and landscape architecture. Students from the University of California Los Angeles were also involved in plans.

During this period, a community garden was created on the lower portion of the site, between the front lawn and Hollywood Boulevard. Historically used as an orchard and farm, the new use for the site was a logical adaptation of Wattles's original plan. The community gardens or urban farming movement was in full swing in American cities and, using funds from the Comprehensive Employment and Training Act (CETA), an anti-poverty and job-training program, the City of Los Angeles helped establish the garden. A non-profit organization called Wattles Farms was created to develop and manage the site, one of several new organizations under the umbrella of a larger organization called Metro Farms.

Wattles Farms was established as a member organization. By joining the Wattles Farms, participants agreed to pay dues and were able to farm a small plot. Having a space in the community gardens became very popular and within a few years membership started to grow.

Wattles Farms oversaw the transformation of the lower portion of the Wattles estate. It also protected the historic grove of avocados that were planted by Wattles at the south end of the property sometime between 1924 and 1932. The grove is one of the last remaining avocado groves in Hollywood, an area that was once well known for its agricultural production.

THE ORCHARD

The main entrance to the Orchard (Community Gardens) was marked by two stucco and concrete pillars. One pillar stands on the south side of the entrance; the second, on the north side of the entrance, has fallen and now serves as a bench, though its base remains in its original position. This area is a direct link to Hollywood's agricultural past.

The Orchard contains 174 individual garden plots with an average size of approximately 225 square feet each. Miscellaneous

low walls, arbors, and paths constructed of pavers, bricks and wood separate these garden plots from one another. Planted with different fruits and vegetables during the Wattles' tenure, the property was more than self-sustaining.

Today, an avocado grove comprising nearly 100 individual avocado trees of different species is located at the southern end and along the west perimeter of the Orchard. The trees are planted in a grid pattern, separated by an average of twenty feet center to center. The canopies of the trees generally provide continuous shade. New avocado trees have been planted in some of these locations as well as California pepper trees and orange trees. The avocado trees bear fruit in late spring and early summer. A cluster of eucalyptus trees is located near the center of the Orchard.

In 1981-82, the City of Los Angeles re-planted the Spanish Garden and installed a sprinkler system. It also distributed a Request for Proposals to organizations interested in leasing Wattles Mansion and the formal gardens. In February of 1983, LADRP staff recommended that Hollywood Heritage, Inc. be awarded the lease.

Hollywood Heritage was founded in 1980 with the goal of preserving Hollywood's historic built environment. Its proposal for Wattles Mansion and the formal gardens stated that Hollywood Heritage would pursue three goals: (1) to halt deterioration to the house and gardens; (2) to create a research and archival center for local history; and (3) to provide a high quality hospitality house and meeting center for Hollywood.

From as early as 1977 until October 1983, a City of Los Angeles Recreation and Parks Department ranger had lived in the mansion. Hollywood Heritage soon arranged for a live-in caretaker to move onto the site. Urgent maintenance problems, such as holes in the roof, were addressed first and, over time, other improvements were made. A small library was established and several upstairs rooms were converted to offices.

The volunteers of Hollywood Heritage halted the deterioration of the site, raised funds, and rehabilitated the mansion and formal gardens. In 1985-86, the exterior of the mansion was repainted and in 1986-87 restoration work began on the interior of the Mansion. Funds to continue this restoration work were awarded in a grant from the State of California

in 1989. Using these funds, an historic survey was commissioned, the roof of the mansion was repaired, disabled access to the gardens and mansion was improved, a bathroom was installed, and electrical and plumbing systems were upgraded. In 1990, volunteer work on the Italian Garden produced a rehabilitated and inviting space.

The City of Los Angeles invested funds in the development of the site during this period, as well, working together with Hollywood Heritage Inc. and Wattles Farms. In 1984, the City re-graded the area between the front lawn and the kitchen service drive and installed a decomposed granite parking lot. In 2000, the northern portion of the west wall along Curson Avenue from the service drive to the park entrance was reconstructed and minor drainage improvements were made.

As the century ended, continued rehabilitation and maintenance remained a concern of all stakeholders.

MANSION

North of the Orchard is the Mansion, with its associated entrance, lawns, and service areas. This portion of the site contains the extant historic Mansion, designed

by architects Myron Hunt and Elmer Grey in 1907. To the east of the Mansion is an ancillary historic structure known as the Caretaker's Cottage. Also in this area are three driveways, the front and west lawns, and a gravel parking area.

The Mansion features a low-pitched tile roof, plain white stucco walls, projecting beams, balconies, and an arcade on the south side. The structure is nearly rectangular in plan and has two stories with an attached servants' quarters (Caretaker's Cottage) on the east side and a covered entryway (porte-cochere) on the west. The porte-cochere has arched openings, a large ornamental wooden front door, and wrought iron hanging lamps. The main approach to the Mansion is from the south via Curson Avenue. The south elevation features three arched openings in an arcade, mirrored by three arched glass doorways behind. A balcony runs above the arcade. The north side features a double veranda with round columns and faces terraced, walled gardens. The second-story veranda has a wrought iron railing. Two small balconies extend from the second story of the east and west wings.

CARETAKER AND SERVICE AREAS

The servants' quarters or Caretaker's Cottage is located immediately east of the Mansion in front of a long, curved retaining wall, approximately one and a half stories in height. The buttressed retaining wall extends from the northeast corner of the Mansion to the east and serves as the rear wall of the cottage. The Cottage is rectangular in plan. It has a low-pitched, clay tile roof and an architectural design compatible with that of the Mansion. It contains two small rooms and a bathroom.

The main entrance driveway is west of the Mansion. The drive is accessed from two entry points: one north and one south of the Mansion. The main part of the drive is oriented north-south, roughly parallel to Curson Avenue, and the ends are curved where the drive connects with Curson Avenue. A porte-cochere shelters the entrance from the driveway into the Mansion. Between the driveway and Curson Avenue is a large planting area. The entry points on Curson Avenue are marked by pairs of stuccoed concrete columns. The driveway is paved with asphalt and lined with concrete curbs and gutters.

A summary physical description of the Mansion excerpted from the 1992 HSR can be found at the end of this section.

SUMMARY OF SIGNIFICANCE

Wattles hired architects experienced in garden design, a head gardener, and a crew of laborers. He purchased roses and shrubs from nurseries, fruit trees from orchard supply companies, brick from brick companies, seed from seed companies, fence posts from a mill, copper roofing from a hardware store, and lumber and iron from a wrecking company. To build the Japanese Garden, Wattles purchased bamboo stakes, exotic plants, and stone lanterns directly from Japan. He imported a complete shrine with all of its carvings wholesale.

The Wattles Gardens mix of formal, exotic, and naturalistic elements and the connection to agriculture and citriculture are typical of early Southern Californian landscape design. The gardens reflect the personal tastes of Mr. Wattles (in the cutting garden for instance), the trend toward a new regional style based on classical elements (in Hunt and Grey's formal gardens), and the embrace of exoticism (the Japanese Garden).

The collection of gardens at Wattles's estate was designed to impress friends, neighbors, and visitors alike. The gardens reflected the social status of Wattles as a wealthy businessman and philanthropist. He was praised for "beautifying" and "upbuilding" Hollywood. The gardens were open to the public, but designed to provide privacy for the family at the same time. The gardens were generally recognized as a handsome complement to the Mansion, giving character and definition to Mr. Wattles's impressive ninety-acre Hollywood estate.

Wattles Gardens, with its combination of elements that include the mansion, formal gardens, agricultural area, and natural mountain setting, is characteristic of an emerging Southern California landscape style in the early twentieth century. In the design of Wattles's estate, the architects, working together with the owner, introduced new ideas about the use of gardens as outdoor living areas, the relationship between nature and architecture, and the adaptations of Mediterranean garden styles to the California. As such, Wattles Gardens, is significant both as an example of the work of architects Hunt & Grey and as an example of

early twentieth century Southern California landscape architecture. Wattles Gardens therefore appear

eligible for listing in the National Register of Historic Places under Criterion C.

Between 1905 and 1916, Gurdon Wattles developed and expanded the Gardens to the point where his Estate, which he called "Jualita," became known as "one of the show places of Southern California and one of Hollywood's most outstanding attractions."

1905 LAND PURCHASE: The original 90-acre site of the Wattles Estate and Gardens was purchased in 1905 by Gurdon Wattles, a wealthy banker and railway company president from Omaha, Nebraska. At that time the property was surrounded by small farms and orchards and nestled among chaparral-covered mountains. Eighty of Wattles' original 90 acres were located in the mountainous area; the lower 10 acres at the base of the canyon were developed into Wattles' Gardens, Orchard, and Mansion.

1909 HOUSE, ORCHARD, AND SPANISH GARDEN CONSTRUCTED: Intending to build a vacation retreat that could later serve as a retirement home, Wattles hired prestigious local architects Myron Hunt and Elmer Grey to design his residence and gardens. The house was completed in 1909, along with the formal Spanish Garden behind it. At the same time Wattles planted fruit trees and crops on the southern portion of the site, continuing an agricultural pattern already well-established in Hollywood's temperate climate zone. He began planting roses in 1909 north of the Spanish Garden.

1911 ITALIAN (ROSE) GARDEN CONSTRUCTED: In 1911 Mr. Wattles hired Elmer Grey to design an extension to the Formal Gardens on the north side of the residence, later known as the Italian Garden. This area featured a large central rose garden. Like the Spanish Garden, the Italian Garden terraced up the hillside and continued the hardscape elements of brick paths, stuccoed walls with clay tile caps, and concrete steps and balustrades, as well as a reflecting pool. On the East Hillside above, pathways were cleared. Much like Hunt and Grey's architectural style which drew upon classical Mediterranean forms, designs for the Spanish and Italian Gardens borrowed classical landscape elements and adapted them to the new context of Southern California.

1912 JAPANESE GARDENS CONSTRUCTED: In 1911 Wattles began developing an elaborate plan for a Japanese Garden in the east canyon. The Japanese Garden included a teahouse, a waterfall, a well, a series of ponds, bamboo

fences, lush plantings, stone walls, statuary; a thatch-roofed pavilion, and a shrine, many of which were imported from Japan. Organized around the waterfall, a stream, and many small, interconnected ponds, the garden was a lush, aquatic oasis set between the arid hillsides of the canyon. When it was constructed, the Japanese Garden was one of the first of its kind in Southern California.

1912 AMERICAN GARDEN CONSTRUCTED: Between the Italian and Japanese Gardens, Wattles developed a series of "connecting" gardens, later called the American Garden. These gardens were located in the lower portion of the east canyon, framed by steep hillsides on the east and west, and included a series of long promenades covered by wood arbors with flowering vines and flanked by palm trees. The American Garden later included a parterre garden and an azalea garden. The American and Japanese Gardens were opened to the public around 1912. Visits to the Wattles Gardens were common and the site was considered a popular Hollywood tourist destination.

1913 -1916 PERGOLA AND OTHER CHANGES IN AMERICAN GARDEN: Between 1913 and 1916, Wattles added a long formal pergola designed by Elmer Grey in the American Garden, which extended from the northern end of the Italian Garden to the southern end of the Japanese Garden. At the same time he built a round neo-classical pavilion and a retaining wall along the East Hillside. He also added a metal rose-covered arbor in the Italian rose garden. Surrounding the elaborate gardens were mountain hillsides that Wattles integrated into the landscape plan. Amongst the low scrub brush, Wattles planted areas of the East Hillside with groves of palm trees, agaves and yuccas. He also developed stairs and paths that led up into the Hillsides and provided alternate routes into the American and Japanese Gardens. Starting in 1914 the Wattles family began using Jualita as a winter residence. In 1916 Jennie, Gurdon's wife, passed away. He married Julia Vance in 1918, and his son Gurdon Jr. was born in 1920.

1920-1932 CHANGES TO MANSION; SALE OF ACREAGE: By 1920 Wattles had moved with his family to live in Hollywood full-time. The residence was modified with a new entry and porte-cochere. In the mid-1920s, Wattles began the process of subdividing and selling the northwest 40+ acres of his property. He retained 49 of the original acres, including the Gardens and east canyon, which comprise the current Wattles Estate and Gardens. Since 1925 the property's boundaries have remained intact. Gurdon lived at Jualita and remained active in its affairs and the care of the gardens until his death in

January 1932. He was 76 years old when he died, survived by his wife Julia, age forty-nine, daughters Mary and Margaret, both in their twenties, and son, Gurdon Jr., age eleven.

1968 CITY PURCHASES ESTATE: By 1965, Julia Wattles was eighty-two years old. Maintaining the residence and gardens had become quite a burden. Gurdon Wattles Jr. negotiated a sale of the property to the City of Los Angeles, which was interested in developing a park in the Hollywood Hills. Under the agreement, Julia Wattles continued to live in the Mansion.

Mayor Sam Yorty declared, "This is the last area available in the scenic Hollywood Hills that could be used as a recreation and park site. We are happy now that we can move ahead with the purchase of the estate and preliminary plans to develop it into an outstanding attraction for our citizens to enjoy".

1974-76 NEW PARK MASTERPLAN: With the firm of Richard Bigler and Associates the City called for redevelopment of the site. During this period, the city of Los Angeles, like many other California cities, experienced a significant decrease in funds available for park development, maintenance, or rehabilitation. The plans were not implemented.

1975 WATTLES FARMS STEWARDSHIP OF THE ORCHARD (AS COMMUNITY GARDENS)

1977 JULIA WATTLES' DEATH

1981-82 CITY REPLANTS SPANISH GARDEN: The City of Los Angeles replanted the Spanish Garden and installed a sprinkler system. It also distributed a Request for Proposals to organizations interested in leasing Wattles Mansion and the Formal Gardens.

1983 HOLLYWOOD HERITAGE LEASE: In February of 1983, LADRP staff recommended that Hollywood Heritage, Inc. be awarded a lease for the Mansion and the Spanish and Italian Gardens. Hollywood Heritage was founded in 1980 with the goal of preserving Hollywood's historic built environment. Its proposal for Wattles Mansion and the Formal Gardens stated that Hollywood Heritage would halt deterioration to the house and gardens; create a research and archival center for local history; and provide a high quality hospitality house and meeting center for Hollywood.

1992 HISTORIC STRUCTURE REPORT PREPARED

2002 CULTURAL LANDSCAPE REPORT: Hollywood Heritage commissioned the Wattles Estate and Gardens Cultural Landscape Report with funding from the Getty "Preserve L.A." Grant program. Study consultants were Historic Resources Group and EIP, with project direction by Hollywood Heritage volunteers. The study documented the history, existing conditions, and significance of the property. It also highlighted the risk of flooding and inundation due to storm water flows and the most serious threat requiring urgent attention. The study recommended the "the preparation and implementation of a detailed flood assessment and treatment plan to prevent further damage to the site."

2006 CONSERVATION REPORT

2009 CITY RESUMES STEWARDSHIP OF MANSION, ADJACENT LAWN AND GARDENS

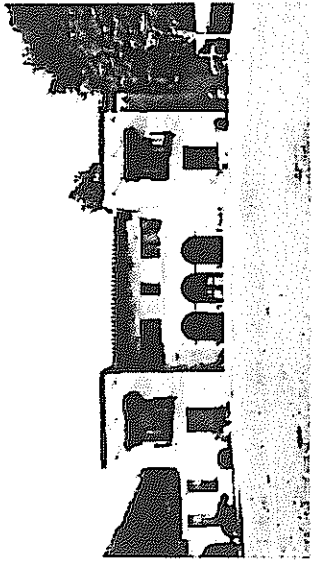
PHYSICAL DESCRIPTION (1992 HSR)

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

ARCHITECTURAL DESCRIPTION



Wattles Mansion South Elevation.

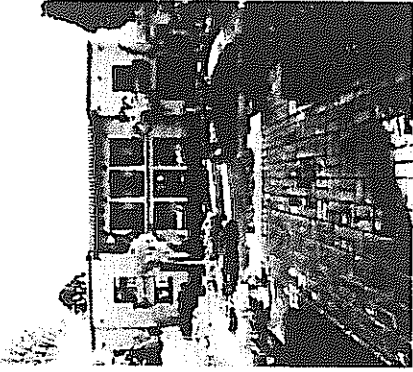
The Wattles Mansion is a formal, nearly symmetrical building in the "Mediterranean Revival" style, with stucco walls, clay tile roofs and wood details. Massing and detailing of the building are very simple in their execution. In plan, the Mansion is a two-story "H" with one-story appendages at each end. The Main House is approximately 6,000 square feet with primary living spaces on the ground floor and five bedrooms and a servants' wing on the second floor. Narrow sloped parapet roofs of red clay tile around the building perimeter conceal flat composition roofs of composition sheeting. A "Caretaker's Cottage," also featuring stucco, clay tiles and wood details, is separated from the east end of the mansion by a light well.

The principal façade, formerly looking out over a vista of avocado and orange groves, faces south. Today, the view looks across downtown Los Angeles and Hollywood. The main entry is at the center of this elevation, and is marked by an open arcade of three arches. The arches span a tile and concrete platform raised from the adjacent grade by four steps. The entire arcade is recessed between the two legs of the "H." Above the arcade, a stucco parapet forms a solid rail for a second floor balcony. Each end bay of the "H" has a large single window at the first floor, surmounted by a tripartite window at the second floor.

The two tripartite windows are fronted with shallow iron balconies and tiled pent roofs supported by simple wooden brackets. The simple brackets are repeated at widely spaced intervals at the deep eaves of the recessed central section. Between the eave brackets are gridded windows that ventilate the low attic. Elsewhere, the eaves have a simple projecting cove-mold of stucco and overhanging clay tiles. The central balcony and the two end bays have decorative wood canals that project about three feet from the stucco face. At the west end of the arcade found on the south elevation. The columns have round bases and simple round caps. Between the columns of the second floor colonnade are flat iron balustrades. The symmetrical composition of the north façade is broken at the first floor of the two end bays. The east bay has a pair of one-over-one wood sash windows centered in the bay on both the first and second floor. There is a wood panel door leading to a service hall and a window at grade level that has had a problem with water infiltration. The west bay also has a

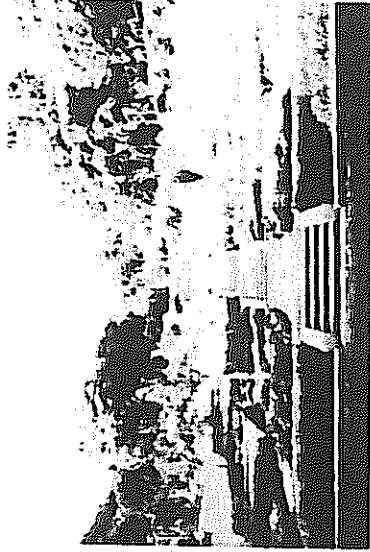
above the sloped parapet clay tile roof are four one-over-one wood sash windows on the second floor of the Mansion. There are decorative canals on this elevation as well, above the porte-cochere.

The north façade is similar in composition to the south façade, with a central recessed portion and a projecting bay at each end. This façade looks out to formal terraced gardens that rise to the rear of the site. A two-story colonnade with tapered stucco columns has been substituted for the central arcade found on the south elevation. The columns have round bases and simple round caps. Between the columns of the second floor colonnade are flat iron balustrades. The



North Elevation.

The west elevation, facing the street, is dominated by the porte-cochere. Six steps, the top four in the shape of a quadrant, rise from the driveway beneath the porte-cochere to a vestibule entry. Open elliptical arches hold up the roof, with molded imposts encircling the piers. There are exposed "timbers" at the ceiling, and



Terraced Gardens looking north.

WATTLES MANSION and GARDENS
Historic Structures Report

pair of one-over-one windows centered at the second floor, but at the first floor there is a single window with a spandrel panel flanked by a pair of glazed doors. Both of the second floor windows in the end bays have shallow iron balconies and railings. The canales, eave brackets, attic windows and clay tile roof are repeated similar to the front elevation.

The east elevation is the most utilitarian with a raised stucco service porch with screened openings. The porch has a tiled shed roof and exposed rafter ends. There is a narrow recessed balcony above the porch defined by three arches with decorative imposts. Other windows at both the first and second floors are one-over-one wood sash windows. At ground level there is a door leading to an interior stairway up to the screened porch, and another door that leads to the basement.

The Caretaker's Cottage is located east of the mansion. It is set against a tall, buttressed retaining wall which abuts one corner of the main building. Only the east and south elevations are readily visible. There are two hinged

doors and two one-over-one wood windows on the south, and two additional windows on the east. Part of the west elevation opens onto the light well separating the cottage from the mansion itself. The interior consists of two small rooms and a bathroom. Both concrete retaining wall and concrete buttresses are exposed on the interior of the Cottage.

The formal character and the Mediterranean influence of the exterior shape the interior of the mansion as well, although with less conformance to symmetry. The west entry at the portico currently serves as the main entrance, leading to a marble-tiled reception vestibule. Two lounges, one for men and one for women, each with a dressing room and a toilet, open off the vestibule. The vestibule leads directly to the living room

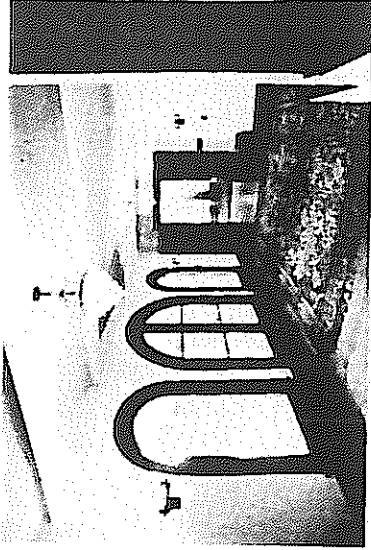
which opens onto the library to the north and the gallery to the east. The library looks out on the lower level of the formal gardens. An alcove opens off the gallery, and leads to the colonnade at the rear of the house. French doors from the gallery offer expansive views of Los Angeles and the Wattles Farm Public Gardens to the south. At the west end of the alcove at the



Living Room.

rear of the mansion, is a small garden/dark room, currently used for storage. A stair in the northeast corner of the gallery leads to the second floor. At the east end, the gallery opens into the main dining room, as well as the service hall connecting to the kitchen and an enclosed back stair that leads to the partial basement and the second floor. Off the kitchen are a service dining room, a pantry, a butler's pantry (leading back into the dining room) and the service porch of the east elevation. (See Floor Plans, Figure 1.)

There are five bedrooms and a service wing on the second floor, all linked by an upstairs gallery. The upstairs gallery fronts onto the north balcony, where an enclosed stair provides access through a hatch to the mansion roof. Bedrooms on the south side of the gallery all open onto the south balcony, which overlooks the front lawn. There are four existing bathrooms on the second floor; one



First Floor Gallery.

opens onto the upstairs gallery, while the others serve as private baths for the bedrooms. The original master bath has been converted to storage, and the fixtures have been removed. The bedrooms have generous closets, most with pocket doors. The east end of the second floor was formerly the servants' quarters but is now used as a suite for the resident caretaker.

(See Floor Plans, Figure 2.)

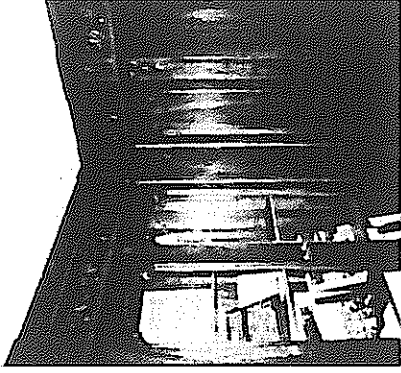
The partial basement may be reached by the rear service stair from the first floor or an exterior door on the east elevation. Most of the basement is used for storage and mechanical equipment, although a billiard room or game room looks out into the light well between the mansion and the adjacent caretaker's cottage. (See Floor Plans, Figure 3.)



Dining Room.

Most of the mansion is finished with wood floors, molded wood trim, and plaster walls and ceilings. Wood box beams span

the living room ceiling, and a massive fireplace with a tile face and wood mantle and glazed bookcases on either side is centered on the north wall. The dining room also has a tiled fireplace, but the mantle projects only slightly from the wood panel wainscot that surrounds the room. The dining room ceiling is coffered with wood beams and plaster panels, while the gallery features a plaster ceiling of shallow ribbed vaults. The library is noteworthy for its elaborately carved built-in bookcases with glazed doors and its painted canvas ceiling with a painted garland border.



Library Bookcases.

WATTLES MANOR and GARDENS
 Historic Structures Report

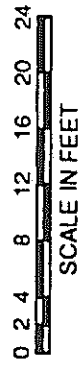
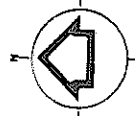
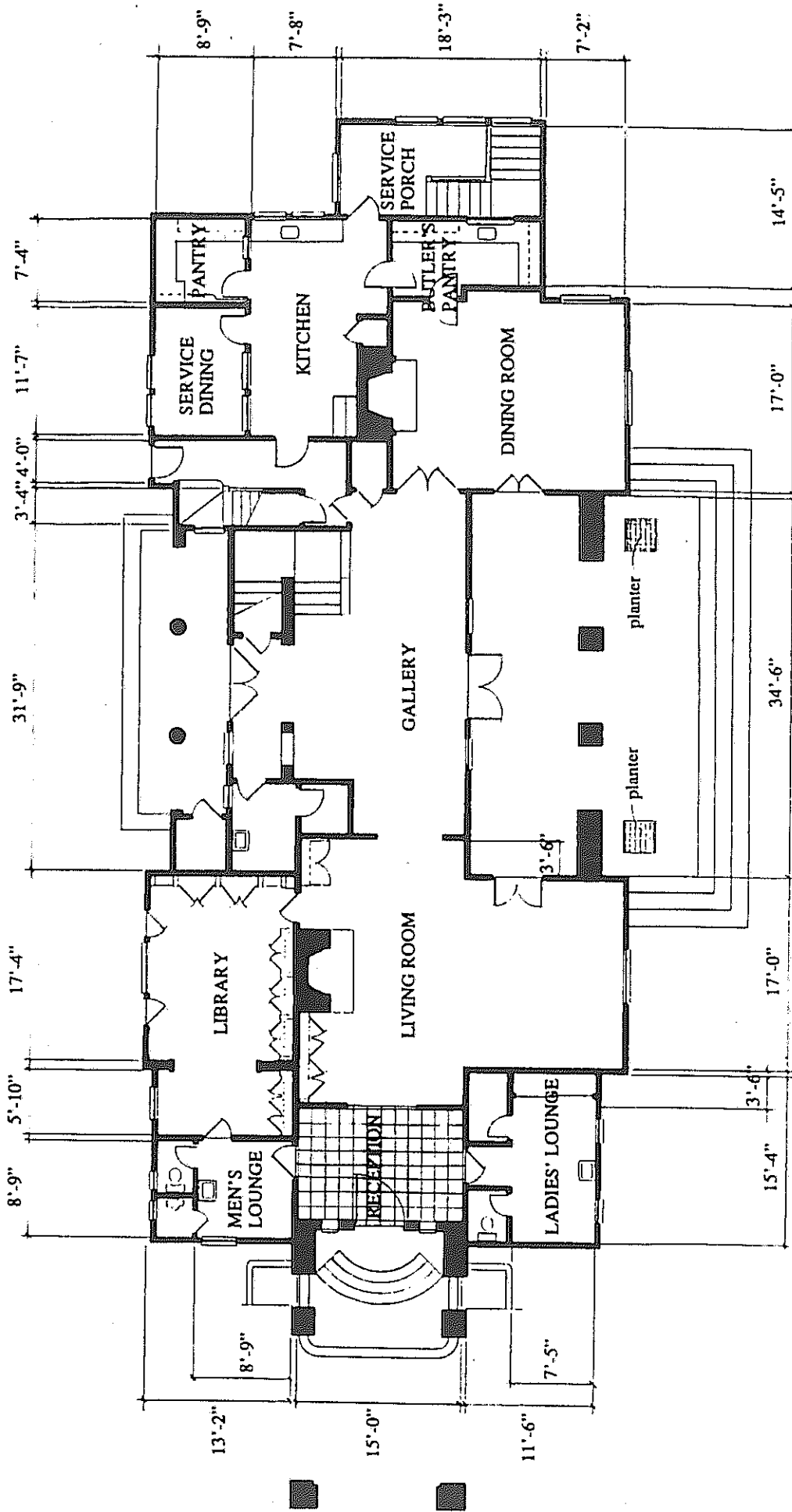


Figure 1: FIRST FLOOR PLAN

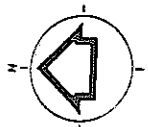
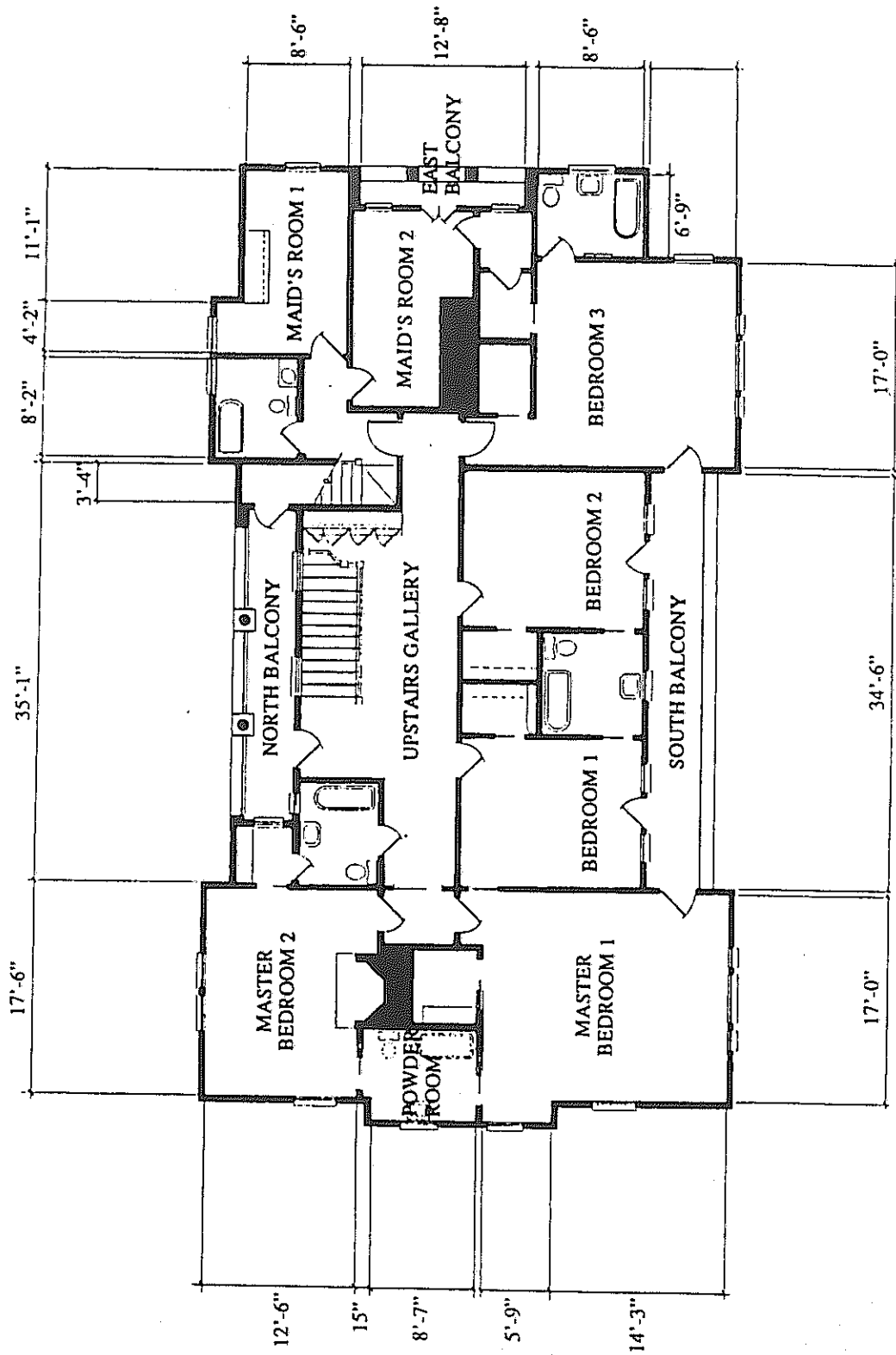


Figure 2: SECOND FLOOR PLAN

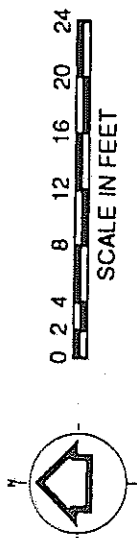
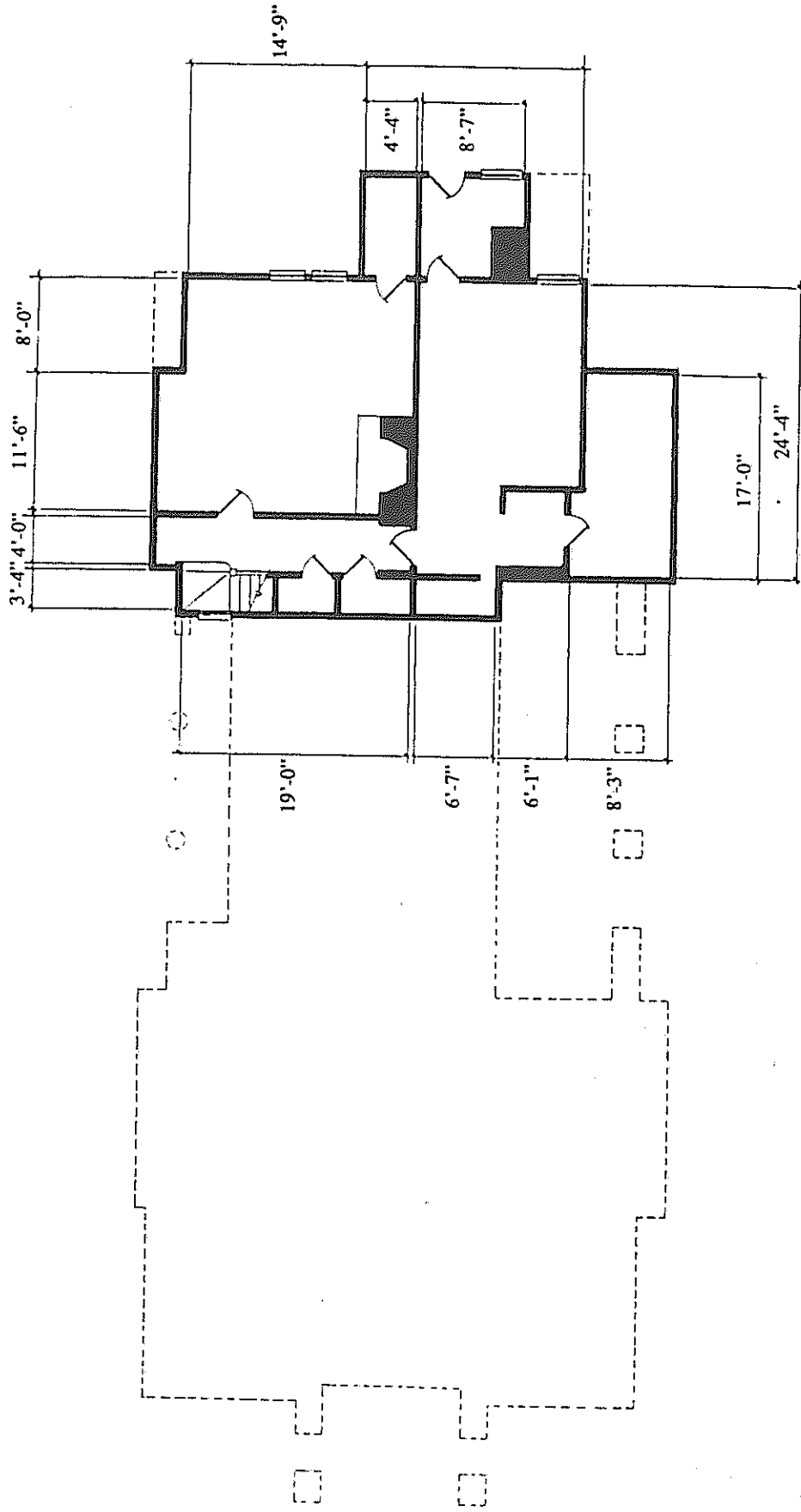


Figure 3: PARTIAL BASEMENT PLAN

COMPONENT LANDSCAPES

Wattles Gardens is comprised of six component landscapes. Six areas have been identified for the purposes of evaluation and treatment: Orchard (Community Gardens); Mansion, Entrance, Lawns, and Service Areas; Formal Gardens; American Garden (Wattles Garden Park); site of historic Japanese Garden (Wattles Garden Park); and Hillside. These component landscapes are briefly described below.

ORCHARD (COMMUNITY GARDENS)

The Orchard (Community Gardens) retains its historic boundaries and spatial relationships as well as some original small-scale features and vegetation. It continues to be bounded by the three public streets and the service drive. Although a chain-link fence surrounding the area is a recent addition, portions of the original fence and concrete posts remain in place. The continued use of the area for active cultivation maintains the historic land use.

Several features of the Orchard (Community Gardens) deserve special attention, including topography, vegetation, circulation, structures, and small-scale features. The southward slope of

the property, which today descends from 489 feet above mean sea level (ASL) in the northwest corner to 411 feet in the southwest corner, remains a prominent feature, although it is likely that small changes in the topography have occurred over time due to different types of cultivation.

The avocado grove dates from the period of significance and is considered a character-defining landscape feature. The continued existence of the avocado grove is particularly significant because of its association with the agricultural history of Hollywood and the continued ability of the remaining trees to provide fruit adds to the character of the orchard as a functional agricultural endeavor.

It should be noted that the Orchard was originally planted with citrus trees and row crops, none of which remain. Some citrus trees have been planted to fill some gaps in the planting grid of the avocado grove, but these trees are not character-defining. The development of the Orchard has been studied using aerial photographs. These photographs indicate that the entire Orchard was planted with trees in a grid pattern in 1930 and, by that time, row crops were no longer planted

there. However, later photographs (from 1947 onward) show the grid at approximately its current curtailed extent.

Other plantings in the Orchard that define the character of the area include the eucalyptus trees. While the exact age of the trees is unknown, historic photographs document the presence of a stand of eucalyptus trees in the same area since 1909. As described above, one of the eucalyptus trees recently fell; however, two remain. Gurdon Wattles consciously decided to leave the eucalyptus in place and plant around them, even during major changes in cultivating patterns and in plantings.

The garden plots, paths, circulation pattern, and small structures associated with Wattles Farms, which took the place of the northern portion of the avocado grove, are of recent origin (since 1972) and are not character-defining.

The remnants of the original fence are considered a small-scale feature under NPS guidelines. The fence is significant because it defines the boundaries of the Orchard. Although few concrete posts retain the metal straps and wire that they once supported, the posts still serve as buttresses for the chain-link fence that now

surrounds the Orchard, and in this sense still fulfill their intended purpose. The posts define the character of the area, even if only by their contrast to the modern chain-link fencing that they support. The current fencing is reversible, but security concerns are a key consideration. Although the chain-link fence is not original, it does serve to protect the historic avocado grove and community gardens. If the original fencing is restored, several of the posts would need to be replicated.

MANSION, ENTRANCE, LAWNS, AND SERVICE AREAS

The Mansion and its environs date back to Wattles's ownership of the property and, with the exception of some plantings, remain essentially the same.

The entrance driveways are a major feature of this area. They date from the early development of the property and retain their original location, as well as original concrete curbs and gutters. The retention of the driveways means that the original circulation pattern and spatial relationships are also in place. The driveways continue to separate the Orchard area from the lawns and the mansion, distinguishing between the work area and the formal area. It should be noted that the portion of the

driveway that connects Curson and Sierra Bonita Avenues is now only partially paved, and appears from photographs to have been fully paved with an asphalt-type material such as macadam.

Additionally, the gate in this area, about eighty feet east of the southern Curson Avenue entrance, is clearly of recent origin. The portions of the driveways that are missing can be repaved and the original concrete curbs and gutters can be repaired.

Several small-scale features are located in the Mansion area. The pillars that mark both Curson Avenue entrances, the stuccoed concrete wall that connects them, and the pillars at the Sierra Bonita entrances are original and intact. The large decorative iron gate for vehicles and a smaller iron gate for pedestrians at the Sierra Bonita entry appear to be from within the period of significance. These features are significant because they serve to define the character of the Mansion and lawn areas, indicating definite entry points onto the property, distinguishing between formal and informal areas. Another small-scale feature is the old irrigation system in the front lawn.

Some vegetation in the Mansion area is original, albeit greatly

overgrown and dramatically different in character. Other vegetation in this area is not original, but compatible. The line of shrubs in the planting bed between the mansion and Curson Avenue, for instance, is mature and resembles the historic pattern, but may not be original. The row of Victorian box trees (*Pittosporum undulatum*) that grows along each side of the main driveway, on the other hand, appears to be the original planting which has grown into taller, more treelike plants.

The service area consists of an intact historic structure, the Caretaker's Cottage, and two intact historic circulation features, the roundabout area and the kitchen service drive. All of these elements remain in their original locations. It should be noted that the construction of the Caretaker's Cottage and the resulting changes to the roundabout are considered historically significant alterations that occurred within the period of significance.

Views to and from the mansion are also landscape characteristics for this area. The terraced front lawn is intact, both as a topographical element and vegetation. The retention of the front lawn as a series of grassy terraces allows views to and from the mansion.

The vegetation on the east side of the lawn, which includes several specimen trees, serves as a screen and can be considered as an aggregation of plants and trees. Although the screen contains the Bunya pine, Canary Island palm, and Deodar cedar, which are character-defining as individual elements, it is also notable for its effect on views. The non-original vegetation that is part of the screen is compatible; it enhances and preserves spatial relationships and directs views to the west towards the Pacific Ocean.

FORMAL GARDENS

The formal Spanish and Italian Gardens retain their original character-defining hardscape elements, including pathways, retaining walls, fountains, staircases, and balustrades. The retention of these elements preserves historic dimensions and spatial relationships, particularly the relationship with the mansion. The Formal Gardens continue to serve as outdoor rooms during weddings and social occasions.

The retention of the structural and hardscape elements of the gardens, which are the essential elements of the original design, is significant and remarkable. Hunt and Grey's intent is clearly discernable here and the overall garden design is

substantially intact. While some urns and other decorative features have been lost, these features can be replicated.

The vegetation in the Formal Gardens must be assessed in three ways. First, some plantings are original, notably some Italian Cypress trees and Cecil Bruner climbing roses on the arbor. Second, much of the vegetation in the planting beds and central areas of the gardens is the result of previous rehabilitation efforts. This vegetation, which generally dates from the mid-1980s to the present, is, for the most part, compatible. Third, the plants and trees on the sides of the gardens are primarily unintentional, having self-seeded and grown in a haphazard fashion. This vegetation has grown up on the sides of the gardens, obscures views, and is not compatible.

AMERICAN GARDEN (WATTLES GARDEN PARK)

The topography of the lower area of the public park, previously known as the American Garden, has been altered, original landscape features and vegetation have been removed, and spatial relationships and circulation patterns have been disrupted. The one exception to the generally low level of integrity in this area is the retention of the

long, curving pergola and pathway designed by Elmer Grey, constructed in 1916, and extant. The retaining wall, pathway, and concrete pillars remain; however, the wood beams which once extended between the pillars over the pathway have been removed.

Some original vegetation remains in place, notably some of the individual palm trees, which once formed a y-shaped arrangement and framed several pathways. However, many of the individual palm trees have been removed making the historic design difficult to discern. A series of paths on the western hillside are visible. These pathways remain today as intermittent rows of rocks.

The new elements in the American Garden are not compatible. At the public entrance, a new Japanese tea garden was constructed around a teahouse donated by the City of Nagoya to the City of Los Angeles. The lower portion of the garden was redesigned in a Japanese style and includes a pond and new paving.

SITE OF THE HISTORIC JAPANESE GARDEN (WATTLES GARDEN PARK)

Remnants of the historic Japanese Garden exist, although the current area bears little relationship to the dramatic elegant garden that once existed here. The ponds are presumed to be buried under several feet of sediment. Many of the hillside pathways have vanished due to hillside erosion. Some of the rehabilitation work by the City of Los Angeles in 1970-71 is visible, but these elements are not character-defining. This area has suffered from severe vandalism, hillside erosion, and sediment build-up on the canyon floor.

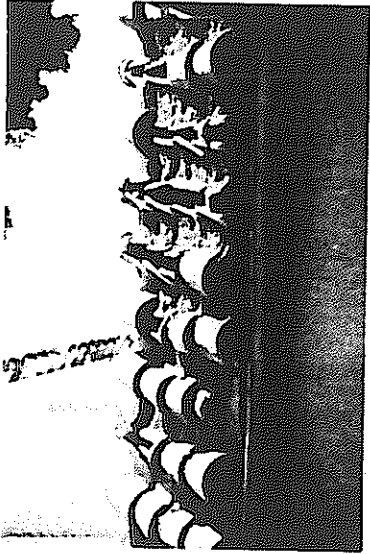
HILLSIDES

The topographic survey did not include this area due to steep hillsides, densely overgrown vegetation, and funding limitations in this phase. Additional research needs to be conducted to ascertain both historical and current conditions. While the general setting and topography of the mountains and canyon are significant landscape features, the extent to which circulation patterns, vegetation, and possibly small-scale features still exist in these areas requires further study. Areas of hillside were planted with palm trees and groves of agaves

interspersed among the tiered pathways that lined the hillside. Paths led away from the mansion toward the American and Japanese Gardens. The main entry into the east hillside area is via steps from the Italian Garden.

The Hillsides are densely overgrown in places and thinning is needed to accurately ascertain the extent of the remaining gardens. Pathways, marked by stones, and groves of yuccas are found throughout the hillside. A number of non-native plants such as pines and other trees are found on the hill.

EXISTING CONDITIONS



Damaged and missing clay tiles.

MANSION

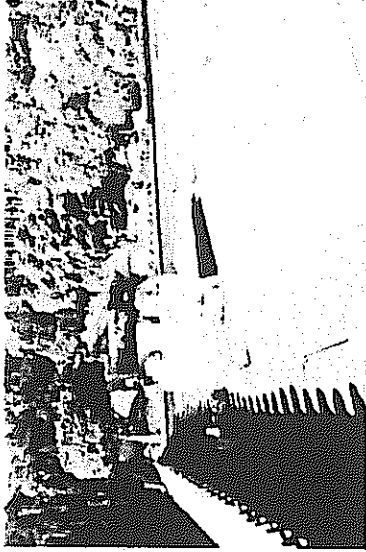
ROOFS

There are two types of roofs on the Wattles Mansion: clay tiled roofs and shallow sloped built-up roofs. A traditional, sloping clay tiled parapet frames the perimeter of the main structure, and behind this, a flat built-up roof, sloped slightly to drain, with a mineral cap sheet. The porte-cochere roof similarly has a clay tile parapet with a flat built-up roof. The two small balconies on the south façade have clay tiled pent roofs. The roof of the service porch is clay tile, while the roof of the Caretaker's Cottage is clay tile over asphalt sheathing.

There are many damaged or missing tiles, particularly on the Caretaker's Cottage and on the west addition. These were originally held in place by nails which have rusted, leaving some tiles unsecured. Some tile breakage on the Cottage roof is probably due to vandalism, stones (and other objects) thrown from the hillside beyond the fence surrounding the property. Mortar at tile ridges is in poor condition and is missing in many areas. Flashings are either copper or sheet metal and vary in condition from good to poor. Wood sheathing below is covered

with an asphalt sheet which, in some locations, provides the only waterproofing of the surface.

Water can now penetrate the mansion roof through the spaces between the remaining tiles. It is surprising that there is not more evidence of leaks and water damage in the occupied spaces below. Some loss of paint on the walls and ceilings of these rooms may be due to moisture from the roof. (Note: In 1992, a new built-up roof was installed, the perimeter parapet tiles were removed, the underlayment replaced and the tiles re-installed.)



Composition roof and clay tile parapet.

entirely copper. (Note: A new built-up roof, new roof drains, and new flashings were installed in 1992.)

Toilet vents are of galvanized iron and extend only slightly above the roof.

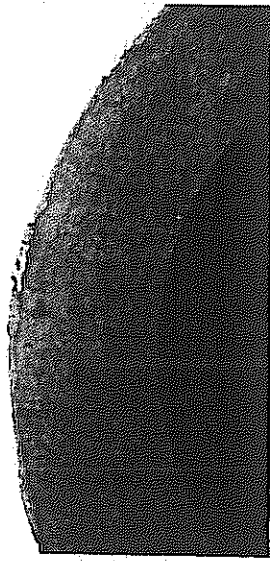
The chimneys are of brick with a plaster finish, and extend approximately four feet above the roof. They have previously patched cracks and some of their base flashing is missing.

BUILDING DRAINAGE

The flat portions of the roof have a surface of rolled composition roofing. The random size of the rolls suggests that these may have been scrap pieces of the material. This material extends up the back face of the parapet. At the top of the parapet there is flashing only in some locations; in all cases the wood sheathing of the sloped roof is exposed and deteriorated. The attic vent and roof scuttle are copper-clad, and in fair condition. According to the present occupant, the original flat roof was

There is a system of painted sheet metal gutters and external downspouts. The gutters at the Cottage and at the service porch are missing, exposing the rot and insect damage to the wood sheathing at the eave. Remaining gutters seem to be functional; there is no staining indicating leaks or overflow. (Note: New gutters and flashings were installed in these areas in 1992.)

The balconies on both the north and south elevations have shallow, integral gutters along their outer edges. The north balcony has a drain for the gutter behind the balcony columns that probably leads to a downspout.



Downspouts terminate at grade or continue down into the soil. It was not possible to observe whether the buried ends of the pipes connect to a below-grade drainage system or simply discharge into the ground below grade. However, in at least one location, at the north wall of the basement stair, there has been severe water damage inside the mansion. Either the pipe simply drains into the ground outside this wall or there is a faulty connection with the underground piping resulting in a leak that has led to the interior damage. Other areas have the same configuration but exhibit no damage.

There is also some settlement of paved areas around the mansion, particularly at the front (south) terrace, possibly due to the accumulation of drainage water below the paving.

STRUCTURE AND EXTERIOR FINISHES

The Wattles Mansion is constructed of wood framing on a concrete foundation. The wood appears to be Douglas fir, which was called "Oregon pine" at the time of construction. The exterior finish is a rough cement plaster and the interior has a smooth plaster finish. The base for the exterior plaster could not be seen except at the east elevation where it is expanded metal lath on wood studs. The balconies on both the north and south side have canvas-covered decking.

Cracking Plaster at south arcade.

No investigative demolition was conducted. From visual inspection, the wood-framed main house appears to be well seated on its concrete foundation. Although the framing is not bolted down, there are plate straps nailed into the framing and embedded into the concrete foundations. No horizontal cracking of the exterior plaster at ground level, which would have indicated movement on the foundation, was noted. Some vertical cracking, indicating lateral movement, perhaps during earthquakes, was observed, primarily at or near grade at the

north and south terraces. These cracks do not appear to be new. The most severe is a crack running up the corner of the wall at the east end of the south terrace. Additionally, there is considerable buckling of the exterior plaster of the south and west walls at a level about four feet above grade. Large portions of the exterior stucco appear to be buckling or to have lost their "key" to the supporting lath. Loose exterior stucco is an aesthetic issue and also threatens the wood framing with water penetration.

Evidence of both rot and insect damage was observed in wood members, although mostly in non-structural elements. Both the first floor joists and the attic and roof framing appeared to be in good condition, although only a very limited area was observed. The mansion was fumigated at the time Hollywood Heritage, Inc. began its tenancy, but it is unclear whether insect damage has been completely abated.

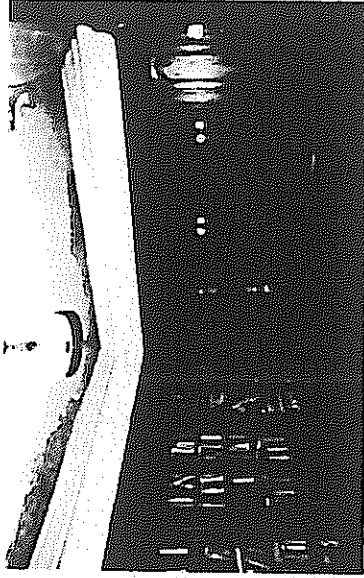
Most of the exterior woodwork, such as the eaves, brackets, window trim and door surrounds, is painted. Some of the doors are stained with a clear finish. All woodwork needs repainting or restaining to protect the wood from deterioration by the elements.

INTERIOR FINISHES

Except at the Reception Vestibule, Kitchen and Pantries, the first floor of the mansion has light oak strip flooring sealed with a clear varnish coat throughout. Most of the first floor rooms have rugs that only partially cover and protect them from foot traffic. The floors are in relatively good condition although the finish is worn in high traffic areas. Some damage was observed in the floor in the Service Hall west of the Kitchen and in the Kitchen itself an area of rotted floor was found near the door to the Butler's Pantry. The service porch is particularly deteriorated, to the point that the wood stairs have been partially supported by door hinges attached to the wall. (Note: A large area of water-stained and deteriorated wood flooring in the Service Hall was repaired in 1991.)

The Reception Vestibule features a marble floor in a checkerboard pattern of black and white marble tiles. The Men's and Women's Lounges have throw rugs over the wood flooring, except for the water closets which are tiled with 4 x 4 ceramic tiles with a 6 x 6 ceramic base. The Kitchen and Pantries have sheet linoleum flooring.

The second floor is also finished with light oak strip flooring except at the bathrooms. The bathrooms have a smooth, painted cementitious floor with an integral base and transition into a wainscot that rises about four feet above the finished floor. Most of the other second floor rooms have area rugs over the wood flooring.



Library with painted canvas ceiling.

At the Basement, flooring is either exposed concrete in the storage and mechanical areas or wall-to-wall carpet on a pad in the Stair Hall and the Game Room (or Billiard Room). The concrete is in good condition and is an appropriate finish for the storage and mechanical rooms. The carpet is in poor condition and has suffered from wear and water damage, particularly at the base of the stairs. (Note: The carpet was removed in 1991.)

Walls throughout the mansion, where the substrate could be observed, are plaster with wood lath where the substrate could be observed. There are molded wood baseboards in rooms with wood or linoleum floors. Molded wood trim surrounds door and window openings. In the primary rooms of the first floor,

trim and bases are stained and varnished, while in the Service Wing the trim and bases are painted. Both the Living Room and Library have built-in stained and varnished wood bookcases with glazed doors. A dark raised panel stile-and-rail wainscot covers the lower walls of the Dining Room. Most of the bathrooms have cementitious plaster wainscots that rise about four feet high, with a slight reveal between the base and floors. Wood paneling along the north wall of the large basement storage room has been severely affected by insect damage along the floor.

All of the ceilings in the main house are plaster, except for the wood ceiling in the Reception Vestibule. In both the Living Room and the Dining Room, ceilings are detailed with stained and varnished wood boxed beams. Beams cross the Living Room ceiling from east to west; the plaster has been repaired. In the Dining Room the box beams form coffers. An extreme sag has developed near the northeast corner of the room. The Library ceiling has a unique painted canvas ceiling with a painted garland border. Conservation and restoration of the ceiling is

necessary as it has been damaged by water and has several loose and gouged areas.

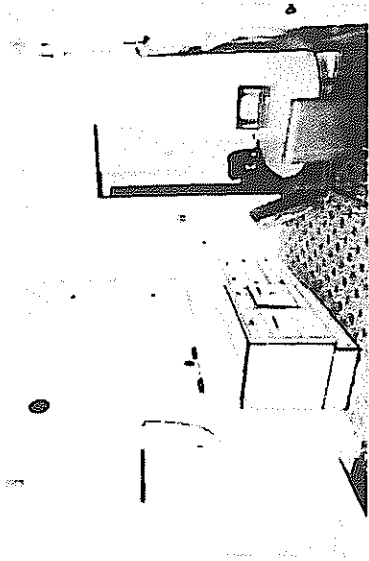
Most of the rooms at both the first and second floor require plaster repairs or replacement. Leaking roofs have caused some damage; other damage may be related to seismic activity.

There are several areas where the plaster ceilings have lost their "key" and several places where the plaster has failed. Water stains are found throughout the building.

The Basement also has finished plaster ceilings. In the crawl space to the west the wood framing of the first floor above is exposed.

HVAC AND FIRE PROTECTION SYSTEMS

The furnace, installed in 1963, operates on natural gas. Gas service enters the mansion at the east side in the Service Yard, where the gas meter and shut-off valve are located. Heating is a



View of Kitchen.

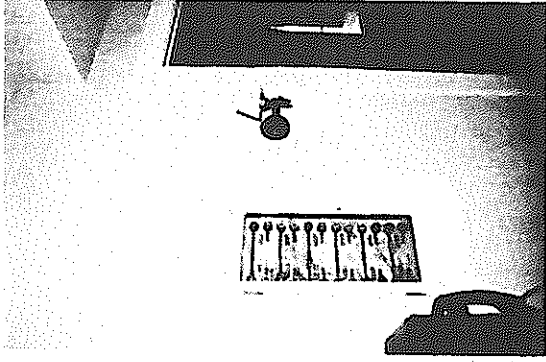
single zone, forced hot-air system. The Kitchen stove also operates on natural gas.

The furnace and fan switches are in the Stair Hall and the thermostat is in the Living Room. The distribution system was apparently modified, perhaps at the time of conversion from coal to gas; as a result, there are two types of supply registers in the mansion. Both are located in the wall at floor level: one type, which appears older, is approximately 10" square; the second is rectangular and cut into the wood base molding. Some rooms have both types of registers. One large grille in the Gallery floor opens directly to grade in the crawl space of the house.

The furnace and blower are located in the south part of the Basement with no fire separation from the rest of the Basement and no combustion air supply. A plaster ceiling protects the wood joists above, but it has been compromised by numerous penetrations.

Ducts run exposed in the Basement and in the crawl space below the central part of the mansion. Some of the ducts serving basement spaces have been removed to reduce heat loads and conserve energy.

The City of Los Angeles conducted an asbestos inspection several years ago. According to their study, there is extensive asbestos covering ducts and pipes in the Basement, and perhaps in upper floor areas as well. The report indicates some of the asbestos has been damaged and poses a health hazard.



Marble-faced electrical panel.

ELECTRICAL AND SECURITY SYSTEMS

The electrical service arrives on site via utility poles from the southeast. The 240 volt, 3 wire service enters the main house from an overhead feed from a pole in the Service Yard. In 1992, the service lines where routed around a tree with large branches that had previously been bearing heavily on the lines. The exterior main panel with meter and the main disconnect are located on the south wall of the Service Porch. From the main panel, power is routed to the main interior distribution panel, and then distributed to four subpanels, serving different sections of the mansion.

The Wattles Mansion does not have an automatic fire suppression system such as a sprinkler system. However, there are several manually-operated chemical fire extinguishers mounted throughout the building interior, and a fire hose mounted on the roof. The Basement also has a hose bib connection for a fire hose.

The conduit running from the exterior to the main panel and to the subpanels is relatively new, as is the main panel itself. New subpanels were installed in early 1992. The original marble faced subpanels were left in place but were disconnected. Service wiring from the new subpanels to fixtures and outlets throughout the mansion appears to be the original knob and tube system.

The system has been modified many times in the past and is consequently somewhat haphazard. Some circuits have been abandoned, others have been patched and spliced, and there are loose wires. Wiremold and coaxial cable have been installed in a few locations to serve newer fixtures. Wires for the telephone and internal call system run exposed in the Basement and in some other locations. The Men's and Women's Lounges added in 1921 have electric wall heaters operated by their original rotary switches. Rotary switches are found in several other rooms as well.

Electrical wall sconces of various designs decorate walls throughout the mansion and modest pendant fixtures hang in several rooms. Most of these are in working order. There are two combination gas-electric fixtures in the Butler's Pantry; there may have originally been other combination fixtures, but no further evidence was found.

Power from the main panel to the Caretaker's Cottage runs in rigid conduit at grade, partially buried, along the south side of the Cottage. No observation of electrical conduits was made inside the Cottage.

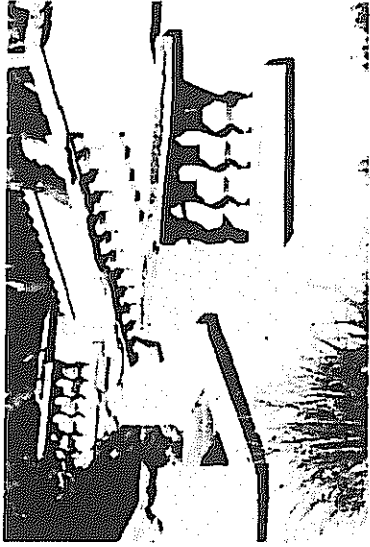
A system of lights was originally mounted in the walls and balustrades of the Italian Garden. This system is no longer functional, and broken wires and damaged junction boxes are exposed in the plastered surfaces. In the Terraced Garden, the central walk is bordered by several incompatible path lights.

Currently, there is no automatic security system at the Wattles Mansion. Security is provided by a resident Caretaker with a dog, by floodlights around the mansion, and by security fencing, 8' or more in height surrounding the site. In the event of an incident, the caretaker is responsible for placing a call to the security company, Westec, which then responds as needed.

PLUMBING SYSTEM

Domestic water service enters the mansion from a main in Curson Avenue to the west of the property. A meter in the west driveway serves both the main house and the south lawn. A second line, with its meter in the park to the north, supplies water for all the gardens north of the mansion.

Most of the plumbing system appears to be original although the piping in the attic has been replaced. The water distribution system is both copper and galvanized iron and the waste pipes are cast iron. Some minor corrosion was observed; in at least one location, the hot water was a dark rust-color, indicating that there is serious corrosion in the ferrous supply piping. The water pressure is good condition, without leaks, but internal corrosion may have lowered their water pressure and may cause leaks in the future. very low, also probably due to iron corrosion which narrows the inside diameter of supply pipes.



Garden stairs and balustrade.

showers in several upstairs bathrooms. The Kitchen sinks are functional; however, the sink on the Service Porch has an inoperable hot water tap. There are also hose connections to pipes through the floor beside this sink.

Several hose bibs are found on outside walls of the mansion. These seem to be in good condition, without leaks, but internal corrosion may have lowered their water pressure and may cause leaks in the future.

The hot-water heater located in the Basement was installed in the 1970s and is completely wrapped in insulation. It stands inside a concrete curb. The copper piping to and from the water heater appears to be in good condition.

Most of the plumbing fixtures are original. Their condition varies. The fixtures themselves are in relatively good condition; the fittings and piping need rehabilitation. The problems range from a minor leak in the sink drain in the Women's Lounge, to nonfunctional or missing hot or cold taps at sinks, tubs or

DISABLED ACCESSIBILITY

The mansion is presently not accessible to the handicapped. All entrances require the ascent of several steps. The main floor is all on one level, so that accessibility should be relatively easy to accomplish. However, the first floor toilets are not suitable for disabled use; signage, clearances and hardware requirements are presently not satisfied. It is likely the unused first floor Garden/Dark Room could be adapted as a disabled toilet.

The gardens are likewise not accessible. Complete accessibility would be impossible without destroying their historic terraced configuration. However, it may be possible to provide additional access at the north end of the gardens directly from the street and to set up vantage points at the top of the gardens for the disabled.

Japanese Gardens to the north, which were once part of the Wattles estate and are now a City park. A new eight to ten foot high metal fence on the north and west sides of the Italian Gardens completes the enclosure of the gardens to help prevent vandalism. On the south side of the mansion is the sloping Great Lawn edged by trees and shrubs and the Wattles Farm Public Gardens beyond.

GARDENS

GENERAL

The Wattles Mansion Gardens were developed over a period of time, beginning with the original design by Myron Hunt and Elmer Grey in 1907. The Gardens have undergone several modifications at various times since then. Directly north of the Mansion are the Italian Gardens, comprised of the Terraced Garden below and the Rose Garden above. A chain link fence separates these gardens from the adjacent hillside to the east and from the

Partial restoration has taken place in recent years in the Terraced Garden and the Rose Garden. Hollywood Heritage, Inc. has cleared the gardens of debris and underbrush. There is a need to evaluate each section of the Gardens individually to determine the best approach toward preservation.



Rose Garden looking south.

ROSE GARDEN

Drainage

The intended drainage concept for the Rose Garden is for surface water to percolate through planting beds and the permeable brick on sand paving areas.

Excess water is collected by drains located in the paving.

A slight degree of surface soil erosion was observed due to the exposed bare soil in the rose beds and areas as yet unplanted. Area drains have deteriorated and some are missing their covers; some drains need to be reset to be flush with paving.

Irrigation

The old irrigation system is not functioning and the roses are presently watered manually. A deteriorated old main irrigation line lies near the center of the Garden.

Hardscape and Garden Structures

The Rose Garden is surrounded by and separated from the Terraced Garden below by low, plastered balustrades. A pair of classically designed wood pergolas stand at the north end separated by a reflecting pool. An arbor, not part of the original garden design, has been constructed in the center of the garden.

The plastered walls have deteriorated throughout the Garden. The lower walls and balustrades need extensive repair work; plaster finish and balusters are cracked; concrete caps are split,

exposing the reinforcing bars; and non-functional electrical fixtures and switches permit water entry.

The pergolas are in better condition, but suffer from extensive graffiti. The structural integrity of the wood members was difficult to assess due to overgrown vines. Several posts of the steel pipe arbor have rusted through and separated from the concrete footings, threatening the stability of the structure. Settling of the brick paving and concrete stairs has made surfaces uneven and, in some places, cracked.

No other furnishings exist except for a concrete pedestal just north of the arbor. The reflecting pool has been planted over, and does not have water filtration or recirculation equipment.

Planting

Approximately 250 rose bushes are planted in three boxwood-edged beds. Areas that require planting restoration include the two planters atop the pavilions at the stairs to the Terraced Garden, the reflecting pool area, the slope just south of the pool, and a narrow strip west of the west garden wall. The reflecting pool is currently planted with calla lilies and should possibly be restored to its original purpose as a reflecting pool. A clump of

trees is growing too close to the east balustraded wall. These trees should be removed prior to restoration work.

Terrace Garden drainage is currently not functioning very well.

Irrigation

A new automatic irrigation system has been installed in the Terrace garden in recent years. A new main water line was installed, which could be extended to serve the Rose Garden as well. However, the new controller does not have open stations; one with a larger capacity would be necessary.

TERRACED GARDEN

Drainage

Drainage in the Terraced Garden is designed to function much like the upper Rose Garden. The area drains in the brick paving of the Terrace Garden have deteriorated considerably. Some have missing covers and some need to be reset flush with the paving. No soil erosion was observed.

Hardscape

There is a high plastered retaining wall on the east side of the Terraced Garden and a similar high wall on its west side. Brick walks and concrete stairs divide the garden into tiered beds. To the north, a pair of concrete stairs leads up to the next level, above a balustraded retaining wall. Beyond this terrace, a pair of plastered pavilions enclose iron gates and stairs up to the Rose Garden.

There are two area drains in the lowest tier of the Terraced Garden, set into the brick paving. It is suspected that the downspouts from the mansion tie into the drainage lines connected to these two area drains. The drainage system from the north side of the house appears to lead to the east of the house and combine with run-off water for the Great Lawn. The



Terraced Garden looking north.

The high walls to the east and west are missing much of their tile cap, but their plaster finish seems to be in good condition. The lower walls and

balustrades need extensive repair work, as do those in the Rose Garden. The paving and stairs exhibit settlement and cracking. Two benches, one wood and one concrete, are located along the west side of the bottom terrace.

Planting

The Terraced Garden has fairly recent plantings of Queen Palms, other trees, shrubs, perennials, and a ground cover.

The ground cover areas along the east side are infected with an invasive parasitic plant (Dodder) which needs to be removed at the earliest possible time. Grasses are also growing among the ground cover, indicating a need for more maintenance. (Note: The above was corrected in 1992.)

GREAT LAWN, DRIVEWAY AND PERIMETER

Drainage

The existing surface drainage concept intends that water sheet flow southward from the Great Lawn across its slope to the driveway. This concept is not ideal and may require a better long-term solution.

Irrigation

The Great Lawn is presently irrigated by an in-ground sprinkler system that is functioning but archaic. Soil near the irrigation head locations was intentionally removed to facilitate the efficiency of the old sprinkler heads. The resulting holes are a hazard. Sprinkler heads near the slope are above ground and also pose a hazard to pedestrians. Ground water seepage was observed near the southern edge of the lawn, suggesting a slowly leaking irrigation pipe or a drainage problem.

Planting

Originally the wide Great Lawn sloping down to a shrub-bordered driveway once gave an expansive view over the estate's orchards to the developing City beyond. Some of the original trees from the avocado groves remain. Additional shrubs bordered the lawn at the mansion.

Old planting of shrubs edging the driveway and the Great Lawn have grown into trees. Their shade prevents grass from growing on the sloped bank, particularly on the south side where many areas show bare soil. Many of the shrubs directly in front of the mansion were planted only as temporary landscaping; most of it is infested with a parasitic disease.

HILLSIDE

Drainage

The hillside to the east of the Terraced Gardens, separated from the Gardens by a chain link fence, is still undeveloped. Surface water near the Gardens is collected by an open channel drain built along the east side of the east Garden retaining wall. Loose dirt and debris collect in the drain from the exposed bare soil of the slope above.

Irrigation

The existing irrigation system is not functioning.

Planting

The hillside slope east of the Terrace Garden is overgrown with trees and shrubs and there is no ground cover present. This area, extending east to the new Wattles Mansion lease line, has the potential for a build-up of deadwood from the shrubs and trees if not properly maintained. The fuel load of the deadwood is a potential fire hazard and should be regularly cleared.

EXISTING CONDITIONS (2009)

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

WATTLES PHOTOGRAPHIC SURVEY

Exterior



SE-1



NE-1



EE-3



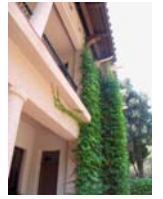
NE-1



NE-2



NE-3



NE-4



NE-5



NE-6



NE-7



NE-8



NE-9



NE-10



NE-11



NE-12



SE-1



SE-2



SE-3



SE-4



SE-5



SE-6



SE-7



SE-8



SE-9



SE-10



SE-11



SE-12



SE-13



SE-14



SE-15



WE-1



WE-2



WE-3



EE-1



EE-2

WATTLES PHOTOGRAPHIC SURVEY

Garden



G-15



G-1



G-16



G-1



G-2



G-3



G-4



G-5



G-6



G-7



G-8



G-9



G-10



G-11



G-12



G-13



G-14



G-15

WATTLES PHOTOGRAPHIC SURVEY

1. Men's Lounge

The men's lounge was the main guest restroom for gentlemen directly off the Reception Hall. The room is equipped with two ancillary chambers with tiled floors, the west one containing a urinal and the east one a toilet. Both chambers have one window each covered on the outside by a decorative cement grill. The main chamber of the lounge has a porcelain sink and mirror. The room has wooden floors and skirting, plaster walls and crown molding. There is one window on the west wall as well as a heating grill in the lower left hand corner of the same wall. The room is entered from the south through a paneled door. All door and window as well as push plate hardware is original.

WATTLES PHOTOGRAPHIC SURVEY

1. Men's Lounge



1-1-NW



1-4-clt



1-10-NE



1-2-SE



1-1-NW



1-2-SE



1-3-N



1-4-tclNW



1-5-tclNW



1-6-tclSW



1-7-N



1-8-ucIN



1-9-ucISE



1-10-NE



1-11-ucINE



1-12-SW



1-13-N



1-14-NW



1-15-SW



1-16-tclNW



1-17-tclNW

WATTLES PHOTOGRAPHIC SURVEY

2. Reception

The Reception Room was the main vestibule and formal entrance to the mansion from the porte cochere. This room includes a black and white marble floor set in a checker board pattern with a white marble boarder. All of the wooden skirting, crown molding and trim is darkly stained. The walls are painted plaster. The ceiling is coffered with recessed square wooden panels each with a painted flower surrounded with a red border. The north and south walls have dark paneled doors leading to the men's and ladies' lounges. The west wall contains the front entry door with nine panes. There are two slender windows flanking the door with three panes each. All hardware is original. On the east wall there are two decorative wrought iron sconces flanking the entrance to the Living Room.

WATTLES PHOTOGRAPHIC SURVEY

2. Reception



2-5-W



2-6-E



2-2-SW



2-3-NW



2-4-SE



2-5-W



2-6-E



2-7-S



2-8



2-9-N



2-10-N



2-11-NE



2-12-W



2-13-N



2-14-SE



2-15-NW



2-16-N



2-17-N

WATTLES PHOTOGRAPHIC SURVEY

3. Women's Lounge

The Women's lounge was the main guest restroom for ladies directly off the reception hall. The Women's Lounge has one ancillary chamber equipped with a toilet. The room also has a large utility closet and a built-in closet with mirrored sliding doors along the entire east wall. This main chamber has wooden floors, with darkly stained skirting and painted wooden trim and crown molding. The walls are painted plaster. The ceiling has a small antique light fixture. There are two windows in the south wall with a sconce set between them. The west wall holds a sink and mirror as well as an original heating grill. All hardware in this room is original.

WATTLES PHOTOGRAPHIC SURVEY

3. Women's Lounge



3-4-W



3-5-E



3-27-tclNW



3-1-NW



3-2-SE



3-3-N



3-4-W



3-5-E



3-6-S



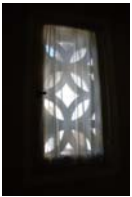
3-7-SW



3-8-NW



3-9-tclNW



3-10-tclW



3-11-tclS



3-12-S



3-13-W



3-14-clNE



3-15-N



3-16-E



3-17-E



3-18-W



3-19-W



3-20-W



3-21-W



3-22-NW



3-23-W



3-24-S



3-25-N



3-26-S

WATTLES PHOTOGRAPHIC SURVEY

4. Library

The library of the Wattles mansion served to hold Gurdon Wattles collection of books as well as his office. The room is among the most formal and elaborately decorated in the house. The walls are lined with decoratively carved built in bookcases and fine paneling. Each bookcase has five shelves, backed in tongue and groove wainscoting enclosed with two or three glass doors with wooden frames and is raised off the floor roughly a foot. Paneling underneath runs along all of the length of every wall. The bookcases and paneling are finished by a richly carved crown molding, which is broken up into sections and set above a corresponding bookcase or panel. The room is divided into two areas, the main and larger library and to the west a roughly 6 x 9 small ancillary space set behind an arch. The east wall has two sets of the bookcases flanked by blank panels. The south wall has three sets of bookcases and in the southwest corner a recessed paneled door leading to the living room as well as another set of bookshelves with three doors in the ancillary space. The west wall is paneled with a door at its center leading to the men's lounge, which is flanked by two wrought iron sconces. The north wall is lined with one sash window, two doors, each with a large single pane of plate glass (the westerly of which is the handicapped accessible entrance) that flank a large plate glass window. The floor of the library is wood and the walls above the bookcases are painted plaster. The room's crown molding is plaster. The ceiling is covered with a painted canvas of classically inspired arabesques. All bookcase, door, window and switchplate hardware is original with the exception of the handicapped accessible door.

WATTLES PHOTOGRAPHIC SURVEY

4. Library



4-4-SW



4-6-E



4-67-NE



4-1-SE



4-2-SE



4-3-NW



4-4-SW



4-5-NE



4-6-E



4-7-E



4-8-W



4-9-W



4-10-S



4-11-N



4-12-N



4-13-SW



4-14-NW



4-15-W



4-16-SW



4-17-SW



4-18-NW



4-19-W



4-20-SW



4-21-SW



4-22-SW



4-23-W



4-24-NW



4-25-S



4-26-S



4-27-S



4-28-SW



4-29-SW



4-30-SE



4-31-SE



4-32-SE



4-33-S



4-44-S



4-45-S



4-46-E



4-47-W



4-48-N



4-49-N



4-50-NE



4-51-E



4-52-E



4-53-S



4-54-S



4-56-N



4-57-N



4-58-N



4-59-W



4-60-W



4-61-NE



4-62-SW



4-63-W



4-64-W



4-65-N



4-65-S



4-66-E



4-66-S

WATTLES PHOTOGRAPHIC SURVEY

5. Living Room

The living room served as the main gathering place of the house. Situated off the reception, the decorative elements of this room reflect the Arts and Crafts with dark woods and prominent horizontal elements. The north wall of the room is anchored by the centrally placed fireplace, which is flanked on the left with low bookcases and on the right with a paneled door and another low bookcase. The bookcases are all fronted with elaborately carved neo-gothic wood and glass doors. The fireplace is surrounded by glazed reddish tiles and has a formal wooden mantle. The floor is wood. The walls are painted plaster. The ceiling has large box beams, which run east to west for the majority of the room only to be crossed by two smaller beams running north to south at the north end of the room above the entrances to the reception and the gallery. The room has four single wrought iron sconces and one double sconce. The south wall has a large plate glass window and the east wall a set of French doors. All of the skirting, trim and molding is darkly stained wood. All door and window hardware is original. There are two heating grates.

WATTLES PHOTOGRAPHIC SURVEY

5. Living Room



5-2-NE



5-5-SE



5-44-N



5-1-W



5-2-NE



5-3-SW



5-4-NW



5-5-SE



5-6-N



5-7-S



5-8-E



5-9-N



5-10-N



5-11-N



5-12-N



5-13-N



5-14-NE



5-15-N



5-16-N



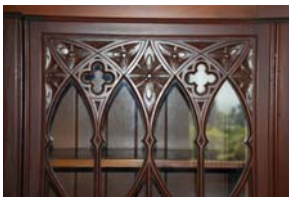
5-17-N



5-18-N



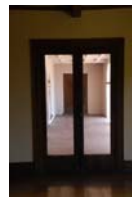
5-19-N



5-20-N



5-21-SW



5-22-E



5-23-E



5-24-E



5-25-E



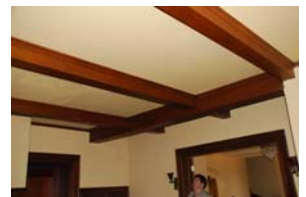
5-26-S



5-27-S



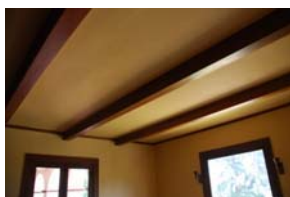
5-28-NW



5-29-NE



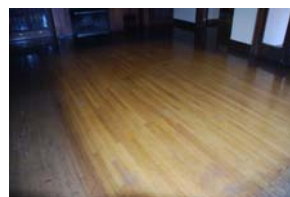
5-30-NE



5-31-SE



5-32-E



5-32-NE



5-33-W



5-34-E



5-36-N



5-37-N



5-38-N



5-39-N



5-40-N



5-41-N



5-43-N

WATTLES PHOTOGRAPHIC SURVEY

6. Gallery

The heart of the mansion was the gallery. This room, filled with light from both north and south facing windows was the main point of access to the gardens, the second story and the kitchen and dining areas. Two large double doors open up from the living room to the west into the gallery. To the south, two arched windows flanking a large arched French door look out onto a covered patio and archways leading to the front lawn. To the north under an archway there is another set of French doors. To the right of them is a closet tucked under the staircase and to the left is a small arched window next to the entrance to the handicapped accessible restroom. The door to is shielded from the main area of the gallery by a low pony wall and another smaller archway. The floors in the gallery are wood with the exception of one area by the staircase where a large intake grate is set into the floor. The ceiling is a series of five shallow arches running north to south. All skirting and trim is darkly stained wood. There is no crown molding. At the northeast corner of the gallery is a staircase with an initial three-step rise to the first landing, which is closed in by a low wall. Two more steps to the left leads to the second landing and a longer flight of steps to the second story. This second landing is covered by a low paneled ceiling. The room is lit with two chandeliers and three pairs of wrought iron double sconces. All door, window and pushplate hardware is original.

6a. Handicapped Accessible Restroom

Character defining features of this room include the historic sink, built in mirrored cabinet, north facing window with decorative crossbars, and a shoulder high chair-rail. The floor is tiled, the walls painted plaster. There is no crown molding. There is large utility closet off the restroom with a sink, built in cabinets and cubby holes for storage. The majority of the hardware is original except for the sink and the door handles which have been replaced with more accessible ones.

WATTLES PHOTOGRAPHIC SURVEY

6. Gallery



6-8-W



6-3-SE



6a-12-SW



6-1-W



6-2-NW



6-3-SE



6-4-SW



6-5-NE



6-6-SW



6-7-E



6-8-W



6-9-NW



6-10-N



6-11-N



6-12-NE



6-13-E



6-14-N



6-15-N



6-16-N



6-17-NW



6-18-NW



6-19-W



6-20-E



6-21-SW



6-22-NW



6-23-W



6-24-W



6-25-W



6-26-W



6-27-NW



6-28-E



6-29-S



6-30-S



6-31-SE



6-32-E



6-33-E



6-34-NE



6-35-E



6-35-N



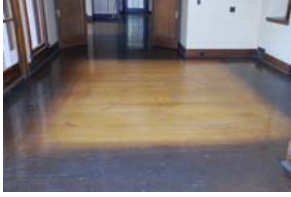
6-36-



6-36-E



6-37-E



6-38-W



6-39-S



6-40-S



6-41-E



6-42-NE



6-43-N



6-44-N



6-45-SE



6-46-N



6a-1-W



6a-2-W



6a-3-W



6a-4-S



6a-5-S



6a-6-N



6a-7-NW



6a-8-clS



6a-9-clS



6a-10-clSW



6a-11-clS

WATTLES PHOTOGRAPHIC SURVEY

7. Kitchen

The kitchen was the main service area for food preparation, cooking and storage. Service staff also used this as their personal dining area as well. The main chamber of the kitchen area is floored with black and white checkered patterned linoleum. The walls are painted plaster and all of the skirting, trim, doors and cabinets are painted wood. On the east wall is a shallow scullery sink and tiled counter underneath of which are wooden drawers for storage. Along the south wall are arranged a modern refrigerator and historic gas stove as well as some built in cabinetry. There are five doors leading to this room from the service hall, the service dining room, the pantry, the butler's pantry and the service porch. There are also two windows into the service dining room and the pantry. There are two modern light fixtures as well.

7a. The kitchen area is entered off the gallery through a doorway behind the staircase. This leads to a long hallway and service staircase with entrances to the basement and the gardens to the north. The floor is wood, the walls painted plaster and the skirting, staircase, balustrades, and doors painted wood. In this area there is a marble backed fuse panel behind a glass door and wood frame.

7b. The service dining room is where servants took their meals. It is only entered directly off the kitchen to the north. The floor again is checkered linoleum, the walls painted plaster and the skirting, trim, doors windows and plate rail are all painted wood. There is a small heating grill at the upper left of the east wall. There are high windows from the kitchen to the south and onto the garden to the north.

7.c The pantry is the smallest of the ancillary spaces of the kitchen used for food storage. Like the main kitchen, the floor is checkered linoleum, the walls painted plaster, the skirting, trim, doors, windows, and cabinetry is all painted wood. The pantry is lined with shelves to the west and cabinets to the east. There is a counter along the north wall with drawers and cabinets underneath.

WATTLES PHOTOGRAPHIC SURVEY

7. Kitchen/ Service Dining/ Pantry



7-7-E



7-9-N



7c-10-S



7-1-E



7-2-SE



7-3-NW



7-4-NE



7-5-SW



7-6-W



7-7-E



7-8-N



7-9-N



7-10-S



7-11-S



7-12-S



7-13-S



7-14-S



7-15-S



7-16-E



7-17-E



7-18-NE



7-19-NE



7-20-W



7-21-W



7-22-E



7-23-NE



7-24-SE



7a-1-N



7a-2-NW



7a-3-W



7a-4-W



7a-5-NW



7a-6-N



7a-7-S



7a-8-S



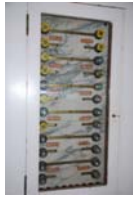
7a-9-SW



7a-10-SE



7a-11-SE



7a-12-S



7a-13-SE



7a-14-W



7a-15-NW



7a-16-W



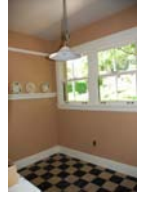
7a-17-N



7a-18-E



7a-19-E



7b-1-NW



7b-2-SW



7b-3-NE



7b-4-NE



7b-5-NE



7b-6-S



7b-7-NW



7c-1-NE



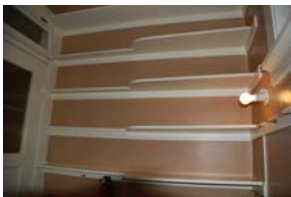
7c-2-NW



7c-3-SE



7c-4-SW



7c-5-W



7c-6-S



7c-7-NE



7c-8-E



7c-9-NE

WATTLES PHOTOGRAPHIC SURVEY

8. Dining Room

This room is where the family took the majority of their meals while in residence. The decorative scheme of the dining room is similar to the living room in that it reflects the Arts and Crafts. The room is lined in dark paneling on the lower half of the wall. The ceiling has box beams, which divide the space into nine equal squares. The floor is wood and the walls painted plaster. There is a fireplace against the north wall nearly identical to the one in the living room with its reddish glazed tiles and formal wooden mantel. All skirting, trim, molding, and doors are darkly stained wood. There are two sets of French doors leading into this room on the west wall. There are two windows: to the south a large plate glass window and to the east a double hung sash window. There is also a swivel door to the butler's pantry. In between the swivel door and the window on the east wall is a large recessed alcove.

WATTLES PHOTOGRAPHIC SURVEY

8. Dining Room



8-7-N



8-8-S



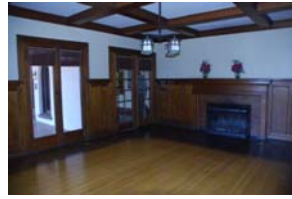
8-30-N



8-1-NE



8-2-SE



8-3-NW



8-4-SW



8-5-NE



8-6-N



8-7-N



8-8-S



8-9-W



8-10-E



8-11-NE



8-12-NE



8-13-NW



8-14-W



8-15-E



8-16-W



8-17-W



8-18-S



8-19-E



8-20-NE



8-21-N



8-22-N



8-23-N



8-24-N



8-25-N



8-26-N



8-27-E



8-28-SE



8-29-N

WATTLES PHOTOGRAPHIC SURVEY

9. Butler's Pantry

This room was used for the cleaning and storage of dishes, glasses, table linens and flatware as well as for the light preparation of food. Set up like a small kitchen it is lined with glass fronted cabinets on the south and east walls. Beneath these runs a long counter partly tiled with a sink in the center. Beneath the counter and the upper cabinet are rows of drawers and more cabinets. The floor is linoleum, the walls painted plaster and the skirting, trim, doors and cabinetry is painted wood. An original light fixture hangs from the ceiling. All hardware is original.

WATTLES PHOTOGRAPHIC SURVEY

9. Butler's Pantry



9-2-N



9-3-S



9-1-SE



9-15-N



9-1-SE



9-2-N



9-3-S



9-4-SE



9-5-E



9-6-E



9-7-SE



9-8-S



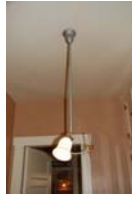
9-9-S



9-11-NE



9-12-N



9-13-N



9-14-N

WATTLES PHOTOGRAPHIC SURVEY

10. Service Porch

The service porch was used as a transitional space between the outdoor service areas and caretaker's cottage and the main service area of the kitchen. This space, which is enclosed with screens to the east, has a sloping beamed roof, and is lined with wainscoting. The southern portion of this room is taken up by a staircase leading downward to an arched doorway, behind which is the service yard. On a projecting landing above the staircase is a deep laundry sink. An enormous historic refrigerator takes up the mass of the remaining space. The service porch is painted throughout. The wainscoting, the plaster walls, the plank flooring, the staircase and balustrades, and trim are all of painted wood. This is also where the modern electrical service panel is located.

WATTLES PHOTOGRAPHIC SURVEY

10. Service Porch



10-15-SE



10-19-N



10-19-N



10-1-E



10-2-E



10-3-E



10-4-E



10-5-SE



10-6-S



10-7-NW



10-8-SW



10-9-S



10-10-E



10-11-W



10-12-NW



10-13-N



10-14-E



10-15-SE



10-16-NW



10-17-SW



10-18-N

WATTLES PHOTOGRAPHIC SURVEY

11. Master Bedroom2

This room is one of the two rooms that comprised the master bedroom suite of Gurdon Wattles. The major feature of this room is the fireplace situated on the south wall. The fireplace is surrounded by ivory glazed tile. Over this is a wooden mantelpiece with a projecting shelf held up by brackets. The floor is wood and the walls are of painted plaster. The doors, skirting, trim, and thin crown molding are also painted wood. There is a closet (entered to the east through a pocket door) with a built in cabinet and drawers as well as an entrance to a bathroom (Room 14). There is access to another bathroom (Room 12) to the southwest through another pocket door. There are three sconces, which are not original. All other hardware is authentic.

WATTLES PHOTOGRAPHIC SURVEY

11. Master Bedroom 2



11-1-SW



11-4-W



11-23-SE



11-1-SW



11-2-NE



11-3-E



11-4-W



11-5-S



11-6-S



11-7-SE



11-8-S



11-9-SE



11-10-S



11-11-SW



11-12-S



11-13-W



11-14-N



11-15-clE



11-16-clE



11-17-clE



11-18-NW



11-19-clNW



11-20-clNW



11-21-SW



11-22-NW

WATTLES PHOTOGRAPHIC SURVEY

12. Powder Room

This room was the main bathroom for the Wattles' master bedroom suite. The sink, toilet and bathtub have all been removed. There is a band of trim halfway up the wall which runs around the entire room. The floor is painted. The walls are painted plaster. There is a built in medicine cabinet to the left of the only window. The room is entered through pocket doors to the north (Room 11) or south (Room 13). The skirting, trim, and doors are all painted wood. There are two sconces, one of which is modern, the other original

WATTLES PHOTOGRAPHIC SURVEY

12. Powder Room



12-4-SW



12-1-SE



12-10-S



12-1-SE



12-2-NW



12-3-NE



12-4-SW



12-5-S



12-6-S



12-7-SW



12-8-W



12-9-W

WATTLES PHOTOGRAPHIC SURVEY

13. Master Bedroom 1

This room was the bedroom of the Wattles' master bedroom suite. The room has wooden floors, painted plaster walls and painted wood skirting, crown molding, trim and doors. The powder room (Room 12) and the bedroom's closet are both entered through pocket doors. The closet has built in cabinets. There is also a door to Bedroom 1 (Room 15) on the northeast corner. The room is dominated by a large tripartite window with southern views. There is a door to the left of the window leading to a balcony. There are two heating vents cut into the skirting boards.

WATTLES PHOTOGRAPHIC SURVEY

13. Master Bedroom 1



13-1-SE



13-2-NW



13-19-N



13-1-SE



13-2-NW



13-3-SW



13-4-NE



13-5-N



13-6-S



13-7-W



13-8-E



13-9-E



13-10-W



13-11-S



13-12-NW



13-13-clN



13-14-clNW



13-15-clNW



13-16-clSW



13-17-clN



13-18-SW

WATTLES PHOTOGRAPHIC SURVEY

14. Bathroom

This bathroom serves the smaller of the two rooms of the master suite (Room 11) and can also be accessed through the Upstairs Gallery (Room 16). There is a toilet, a sink, a medicine cabinet and a tub -- all of which are original. The double sconce is not original. The floor is painted. The walls are painted plaster and the skirting, trim, doors and medicine cabinet are all painted wood.

WATTLES PHOTOGRAPHIC SURVEY

14. Bathroom



14-3-NE



14-4-SW



14-13-S



14-1-SE



14-2-NW



14-3-NE



14-4-SW



14-5-N



14-6-N



14-7-N



14-8-N



14-9-N



14-10-N



14-11-N



14-12-N

WATTLES PHOTOGRAPHIC SURVEY

15. Bedroom1

This is the first of the three guest bedrooms of Wattles mansion. The room has wood floors, painted plaster walls and all skirting, molding, doors and trim are painted wood. There are four sconces and two registers. The room has a door with a single pane of plate glass leading to an exterior south-facing balcony. The door is flanked by two smaller windows. The room can be entered via Master Bedroom 1(Room 13), the Upstairs Gallery (room 16), and from the adjoining Bathroom (Room 17). The bedroom also has a closet, which is accessed through a pocket door.

WATTLES PHOTOGRAPHIC SURVEY

15. Bedroom 1



15-3-SE



15-5-N



15-13-N



15-1-SW



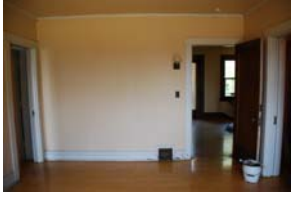
15-2-NE



15-3-SE



15-4-NW



15-5-N



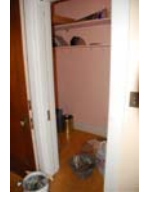
15-6-S



15-7-W



15-8-E



15-9-clNE



15-10-clS



15-11-clE



15-12-clE

WATTLES PHOTOGRAPHIC SURVEY

16. Upstairs Gallery

The Upstairs Gallery is accessed via the main staircase from the Gallery (Room 6) below. The Wattles master suite, the servants quarters and all of the main bedrooms have access to this hall. The western end of the Upstairs Gallery is the vestibule of the Master suite (Rooms 11-13). It can be closed off from the rest of the hall by two large stained wooden pocket doors. The eastern end of the hall is a blank wall which to the north is a door leading to the servants quarters (rooms 19-21) and to the south Bedroom 3 (Room 22). The major character defining features of this space is the heavy darkly stained wooden balustrade with turned balusters and the built in linen cabinets located at the northeast corner of the hall. The floor is wood; the walls painted plaster; and the skirting, molding, trim, doors, cabinetry and balustrade are all darkly stained wood. There is also a door at the top of the staircase which provides access to the exterior balcony overlooking the Spanish Gardens to the north.

WATTLES PHOTOGRAPHIC SURVEY

16. Upstairs Gallery



16-4-SE



16-5-W



16-25-NE



16-1-W



16-2-E



16-3-W



16-4-SE



16-5-NW



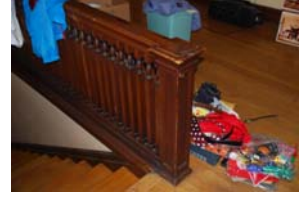
16-6-SW



16-7-W



16-8-N



16-9-SE



16-10-SE



16-11-E



16-12-E



16-13-E



16-14-NE



16-15-NE



16-16-NE



16-17-NE



16-18-N



16-19-N



16-20-SW



16-21-SW



16-22-S



16-23-W



16-24-W

WATTLES PHOTOGRAPHIC SURVEY

17. Bathroom

This bathroom provided shared bathing facilities for Bedroom 1 (Room 15) and Bedroom 2 (Room 18). The bathroom has its original toilet, sink and bathtub. There is a built-in mirrored medicine cabinet to the left of the window. There are two sconces. The floor is painted. There is a band of molding which runs around the room halfway up the wall.

WATTLES PHOTOGRAPHIC SURVEY

17. Bathroom



17-7-SW



17-5-NE



17-18-NW



17-1-NE



17-2-NW



17-3-SE



17-4-NW



17-5-NE



17-6-SW



17-7-SW



17-8-SE



17-9-S



17-10-S



17-11-S



17-12-SE



17-13-SE



17-14-NE



17-15-N



17-16-N



17-17-N

WATTLES PHOTOGRAPHIC SURVEY

18. Bedroom 2

This bedroom is identical to Bedroom 1 (Room 15) which it connects to through a shared bathroom (Room 17). The floors are wooden; the walls painted plaster and the skirting, molding, trim and doors are all painted wood. There are four sconces and two heating vents. Like its companion, the bedroom has a single paned door with access to the exterior balcony, which is flanked by two windows. The room also has a closet accessed through pocket door.

WATTLES PHOTOGRAPHIC SURVEY

18. Bedroom 2



18-5-S



18-6-N



18-11-S



18-1-NE



18-2-SW



18-3-NW



18-4-SE



18-5-S



18-6-N



18-7-clN



18-8-clN



18-8-N



18-9-S



18-10-N

WATTLES PHOTOGRAPHIC SURVEY

19. Bathroom

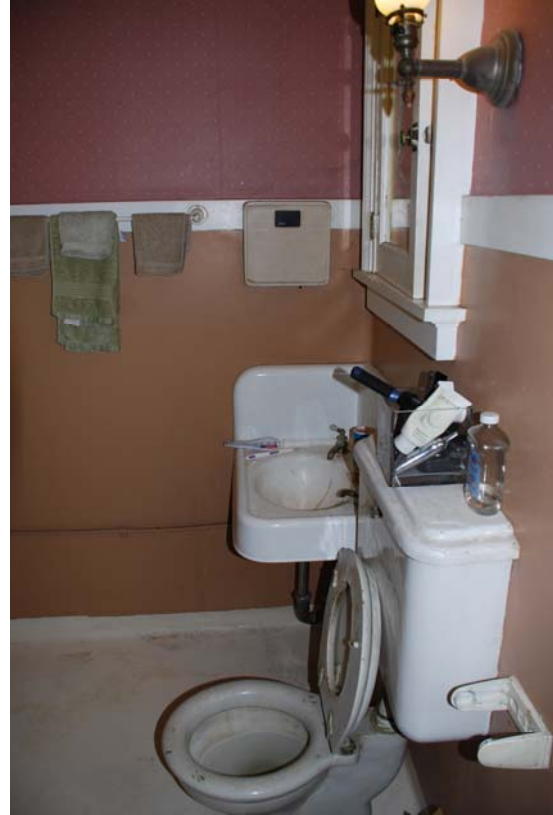
This bathroom is the first room in a suite of three rooms, which comprise the servant's quarters of the house. The suite is entered from the Upstairs Gallery (Room 16) or the staircase leading to the kitchen access hall (Room 7a). The bathroom has its original toilet, sink and bathtub. There is a built-in mirrored cabinet above the sink on the south wall. There is a band of molding which runs around the room halfway up the wall. The floor is painted. The walls are painted plaster. The skirting, trim, cabinetry and doors are all painted wood. This is the only bathroom with a shower curtain and rod. There is one sconce.

WATTLES PHOTOGRAPHIC SURVEY

19. Bathroom



19-1-N



19-9-E



19-6-SW



19-18-E



19-1-N



19-2-N



19-3-N



19-4-N



19-5-NE



19-6-SW



19-7-SW



19-8-NE



19-9-E



19-10-NW



19-11-N



19-11-NW



19-12-S



19-13-S



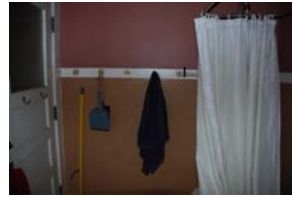
19-14-SW



19-15-SW



19-16-E



19-17-W

WATTLES PHOTOGRAPHIC SURVEY

20. Maid's Room

This rather narrow bedroom was one of two bedrooms set aside for domestic staff. The most unique feature of the room is a corner closet with built-in cabinets above it. The floor is wood, the walls painted plaster. The skirting, molding, cabinetry, doors and trim are all painted wood. There are two windows -- one to the east one to the north. There is a heating grill in the northeast corner of the room.

WATTLES PHOTOGRAPHIC SURVEY

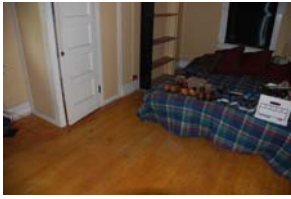
20. Maid's Room 1



20-1-NE



20-8-NW



20-13-NE



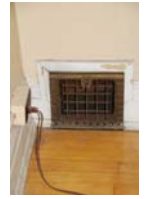
20-1-NE



20-2-SW



20-3-SE



20-4-N



20-4-NW



20-5-E



20-6-NE



20-7-W



20-8-NW



20-9-NE



20-10-NE



20-11-NW



20-12-E

WATTLES PHOTOGRAPHIC SURVEY

21. Maid's Room 2

This is the second bedroom set aside for domestic staff. It is nearly the same size as its twin next door (Room 20); however, it lacks the built-in cabinet and closet, and instead has a simple walk-in closet. One feature of this room is a set of French doors leading to a small exterior balcony. The floors are wood; the walls painted plaster, the skirting, molding, doors and trim are all painted wood. This room also has a closet divided in to two small rooms, which also provides access to Bedroom 3 (Room 22).

WATTLES PHOTOGRAPHIC SURVEY

21. Maid's Room 2



21-1-SE



21-5-SE



21-3-W



21-9-SW



21-1-NE



21-1-SE



21-2-NW



21-3-W



21-4-E



21-5-SE



21-6-E



21-6-S



21-7-dSW



21-8-clS

WATTLES PHOTOGRAPHIC SURVEY

22. Bedroom 3

Bedroom 3 is the largest of the three guest bedrooms. Like Master Bedroom 1 (Room 13), it is dominated by a large tripartite window facing south and has a single pane door which grants access to the exterior balcony along the south façade of the house. The floor is wood, the walls painted plaster. The skirting, molding, trim and doors are all painted wood. The room is entered from the Upstairs Gallery (Room 16). A small hallway leads past the first closet. The second closet provides access to Maid's Room 2 (Room 21). Opposite the closet in the northeast corner is the door to a bathroom. There are two sconces and two heating registers.

WATTLES PHOTOGRAPHIC SURVEY

22. Bedroom 3



22-4-E



22-5-N



22-14-clE



22-1-SE



22-2-NE



22-3-NW



22-4-SE



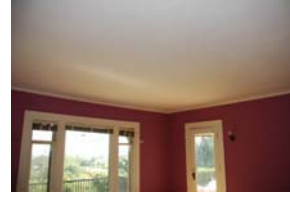
22-5-N



22-6-S



22-7-E



22-8-SW



22-9-SW



22-10-clE



22-11-clNE



22-12-SE



22-13-SE

WATTLES PHOTOGRAPHIC SURVEY

23. Bathroom

This bathroom serves Bedroom 3 (Room 22) only. It has its original toilet, sink and bathtub. There is a mirrored medicine cabinet on the west wall. The floor is painted. The walls are plaster. The lower half is wallpapered with floral paper. The top half is painted. The upper and lower halves of the walls are separated by a band of molding. All of the skirting, molding, cabinets, doors and trim are painted wood.

WATTLES PHOTOGRAPHIC SURVEY

23. Bathroom



23-1-SE



23-2-NW



23-12-SE



23-1-SE



23-2-NW



23-3-NE



23-4-SW



23-5-E



23-6-E



23-7-SE



23-8-E



23-9-SE



23-10-E



23-11-S

WATTLES PHOTOGRAPHIC SURVEY

24. Basement Hallway

At the bottom of the staircase that leads from the kitchen access hallway (Room 7a) is the basement hallway, which provides access to all of the major rooms of the basement. The floor is unfinished concrete, the walls painted plaster. The skirting, trim, doors and staircase are stained wood. Off of the hallway and under the staircase are two small rooms, the first a storage space, and second a wine cellar with long racks purpose built to hold wine bottles.

WATTLES PHOTOGRAPHIC SURVEY

24. Basement Hallway



24-3-S



24-5-clSW



24-6-S



24-1-N



24-2-E



24-3-S



24-4-clW



24-5-clSW

WATTLES PHOTOGRAPHIC SURVEY

25. Billiard Room

This room at the foot of the basement staircase was formerly the billiard room which was used for entertaining gentlemen. There is a large brick fireplace in the southwest corner of the room. The room is paneled with darkly stained wood along the bottom half of the west and north walls. The south and east walls have no paneling. The southeast corner of the room has a small utility space, which may at one time have been a bathroom. The floor is unfinished concrete, the upper walls painted plaster. The trim and doors are darkly stained wood.

WATTLES PHOTOGRAPHIC SURVEY

25. Billiard Room



25-18-SW



25-17-NE



25-18-NE



25-1-SE



25-2-clE



25-3-NW



25-4-NE



25-5-SW



25-6-S



25-7-S



25-8-S



25-9-NE



25-10-NE



25-11-NE



25-12-N



25-13-NE



25-14-S



25-15-SE



25-16-NW



25-17-NE

WATTLES PHOTOGRAPHIC SURVEY

26. Utility Room

At the south end of the basement hallway is the utility room, where the major mechanical systems of the house are located (heat, boiler and refrigeration systems). This room has three ancillary spaces, two of which contained older mechanical systems and the other which served as basement vestibule leading to the service yard. The space to the south still contains historic machinery. The smaller space has a metal grate set into the floor. The floor and walls are concrete. There is simple wood trim surrounding the doors.

WATTLES PHOTOGRAPHIC SURVEY

26. Utility Room



26-3-N



26-6-S



26-11-NW



26-1-S



26-2-SE



26-3-N



26-4-clS



26-5-clN



26-5-N



26-6-S



26-7-SE



26-7-SW



26-8-W



26-9-S



26-10-SE

WATTLES PHOTOGRAPHIC SURVEY

27. Basement vestibule

This small room serves as the access point to the service yard from the basement. The utilitarian space has an unfinished concrete floor and walls. The trim in the room is wood. The door is also wood with metal facing on the interior side. Several pipes run through this room along the ceiling and the walls.

WATTLES PHOTOGRAPHIC SURVEY

27. Basement vestibule



27-1-E



27-7-W



27-1-E



27-2-W



27-3-E



27-4-E



27-5-SW



27-6-NW

WATTLES PHOTOGRAPHIC SURVEY

Attic

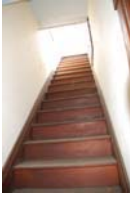
The house's attic is accessed from the exterior northern balcony accessed from the Upstairs Gallery (Room 16). There is a door behind which is a staircase leading to the roof. The staircase is wood. Halfway up there is a small door, which provides access to the attic. The attic is a low unfinished crawlspace, which is solely to provide ventilation for the house. From the door beams running north to south on the ceiling and the floor dominate the space.

WATTLES PHOTOGRAPHIC SURVEY

Attic



Attic -1-W



roofaccess-2-S



Attic-1-W



roofaccess-1-E

Wattles Mansion
Character-Defining-Features by Room

<u>Room Number</u>	<u>Location</u>	<u>Floor</u>	<u>Description</u>	<u>Notes</u>
1	Men's Lounge	1	Towel Bar	North
1	Men's Lounge	1	Sink	North
1	Men's Lounge	1	Rod With Green Tie Backs	West
1	Men's Lounge	1	Heat Register Original	West
1	Men's Lounge	1	Heat Valve	West
1	Men's Lounge	1	Ceiling Fixture	
1	Men's Lounge	1	Switch Plate	East
1	Men's Lounge	1	Door With Original Hardware	
1	Men's Lounge	1	Hardware Original	
2	Reception	1	Marble Parquet Floor	
2	Reception	1	Double Light Panel	
2	Reception	1	Painted Coffers	
2	Reception	1	Sconces (2)	East
2	Reception	1	Heat Register	
2	Reception	1	Hardware: Hinges, Window Latches, Door	
3	Women's Lounge	1	Sliding Closet	East
3	Women's Lounge	1	Mirror	East
3	Women's Lounge	1	Sconce Floral	South
3	Women's Lounge	1	Heat Register	West
3	Women's Lounge	1	Heat Knob	West
3	Women's Lounge	1	Sink	West
3	Women's Lounge	1	Towel Bar	West
3	Women's Lounge	1	Mirrored Medicine Cabinet	West
3	Women's Lounge	1	Ceiling Fixture Original Refurbished	
3	Women's Lounge	1	Door Hardware (3)	
4	Library	1	Sconces Double (2)	West
4	Library	1	Hardware All Original Except Accessible	
4	Library	1	Bookcase	West
4	Library	1	Heat Register	West
4	Library	1	Metal Blinds to Fit (4 Sets)	North
4	Library	1	Sconces Double (2)	North
4	Library	1	Curtain Rod Brackets Wooden	North
4	Library	1	Double Switch Plate	South
4	Library	1	Ceiling Fixture with Globe Painted Canvas	
5	Living Room	1	Fixture Panels Original	West
5	Living Room	1	Call Buttons Original	West
5	Living Room	1	Double Sconce	West
5	Living Room	1	Fireplace Screen & Grate	North
5	Living Room	1	Four Screwed Plate With Ring	West
5	Living Room	1	Heat Register	West
5	Living Room	1	Single Sconces No Ring (2)	South
5	Living Room	1	Door Hardware, Hinges	East
5	Living Room	1	Double Sconce With Ring	East
5	Living Room	1	Single Plate Only	East
5	Living Room	1	Built In Bookcase	North
5	Living Room	1	Hardware Original	North
5	Living Room	1	Fireplace	North
5	Living Room	1	Wood Beamed Ceiling	
6	Gallery	1	Accessible Bath	
6	Gallery	1	Accessible Fixture	
6	Gallery	1	Original Sink Brackets	
6	Gallery	1	Medicine Cabinet	
6	Gallery	1	Door Hardware Original	
6	Gallery	1	Hardware Door (1 Knob Missing), Hinges	
6	Gallery	1	Light Button Panels (9)	
6	Gallery	1	Call Switch	
6	Gallery	1	Double Arm With Ring Sconces (3)	
6	Gallery	1	Single Sconce	
6	Gallery	1	Chandeliers Refurbished (2)	
6	Gallery	1	Floor Heat Register Large	
6	Gallery	1	Registers Small (3)	
7	Kitchen Hall	1	Service Call Panel Original	
7	Kitchen Hall	1	Single Sconces (2)	
7	Kitchen Hall	1	Push Button Light Switches (3)	

Wattles Mansion
Character-Defining-Features by Room

7	Kitchen Hall	1	Door Hardware Original Except Basement & Kit Deadbolts	
7	Kitchen Service Dining	1	Registers (2)	
7	Kitchen Service Dining	1	Window/Door Hardware Original	
7	Kitchen Pantry	1	Hardware Original	
7	Kitchen Pantry	1	Ceramic Light Fixture	North
7	Kitchen	1	Switch Panels (2 Single 1 Double)	
7	Kitchen	1	Window/Door Hardware Original	
7	Kitchen	1	Antique Stove (Wedgewood)	
7	Kitchen	1	Wooden Dish Towel Rack	
8	Dining Room	1	Window Shades to Fit (4)	West
8	Dining Room	1	Shutters (2 Sets)	South & East
8	Dining Room	1	Craftsman Ceiling Fixture	
8	Dining Room	1	Fire Screen, Andirons, Grate	
8	Dining Room	1	Pushbutton Fixtures (2)	
8	Dining Room	1	Single Sconces (2) Heart Cut Outs	
8	Dining Room	1	Heat Register	South
8	Dining Room	1	Door Hardware Original	
9	Butler's Pantry	1	Ceiling Fixture-Pole With Shade	
9	Butler's Pantry	1	Push Button Switch	
9	Butler's Pantry	1	Sconce Single Arm With Shade	
9	Butler's Pantry	1	Cabinet Hardwire	
10	Service Porch	1	Ice Box Original	
10	Service Porch	1	Sink	
10	Service Porch	1	Panel Box	
10	Service Porch	1	Hardware Original	
11	Master Bedroom 2	2	Double Push Button Switches (2)	
11	Master Bedroom 2	2	Register	
11	Master Bedroom 2	2	Fire Grate	
11	Master Bedroom 2	2	Sconces (3)	
11	Master Bedroom 2	2	Hardware All Original	Missing door knob on bathroom door
11	Master Bedroom 2	2	Push Operated Pocket Doors (2)	
11	Master Bedroom 2	2	Ceiling Fixture Original	New glass
11	Master Bedroom 2	2	Closet Original Glass Hardware	
11	Master Bedroom 2	2	Closet Ceiling Light Fixture	
12	Powder Room	2	Towel Rod	
12	Powder Room	2	Mismatched Sconces (2)	
12	Powder Room	2	Medicine Cabinet	
13	Master Bedroom 1	2	Sconces (3)	
13	Master Bedroom 1	2	Double Push Button Switches (2)	
13	Master Bedroom 1	2	Single Push Button Switches (2)	
13	Master Bedroom 1	2	Heat Registers (2)	
13	Master Bedroom 1	2	Door Hardware Original	
13	Master Bedroom 1	2	Metal Historic Plaque	
13	Master Bedroom 1	2	Push Pocket Doors (2)	
13	Master Bedroom 1	2	Closet Cabinet	
13	Master Bedroom 1	2	Original Hardware on Built ins	
13	Master Bedroom 1	2	Gray Carpet	
14	Bath	2	Double Sconce	
14	Bath	2	Medicine Cabinet	
14	Bath	2	Towel Rods (2)	
14	Bath	2	Sink Pedestal	
14	Bath	2	Tub	
14	Bath	2	Toilet	
14	Bath	2	Push Button Switch	
14	Bath	2	Toilet Paper Holder	
14	Bath	2	Shower Head	
14	Bath	2	Bathrobe Hook	
14	Bath	2	Light Fixture Single Bulb	
15	Bedroom 1	2	Sconces (4)	
15	Bedroom 1	2	Registers (2)	One Damaged
15	Bedroom 1	2	Single Push Button Switches (3)	
15	Bedroom 1	2	Triple Push buttons	
15	Bedroom 1	2	Pocket Doors (3)	Missing Door Know Hall
16	Gallery Master Suite Vestibule	2	Double Push Switch	
16	Gallery Master Suite Vestibule	2	Set of Double Pocket Doors	
16	Main Gallery	2	Single Push Button Switches (2)	
16	Main Gallery	2	Five Button Switch	

EVALUATION OF INTEGRITY

An analysis of integrity is a key component of any historic resource and cultural landscape study. In order to qualify for the National Register, for example, historic properties and landscapes must possess integrity. The integrity of an historic landscape is determined by undertaking a direct comparison of the historic landscape characteristics of a property and the existing landscape characteristics, including land use, circulation, topography, vegetation, and buildings and structures. The continued presence of physical characteristics from the property's period of significance is the evidence of a property's integrity. The retention of these physical characteristics is what gives historic landscapes authenticity and allows for the understanding of the property's historic identity.

Seven aspects or qualities of integrity have been recognized under National Register criteria. They are defined as follows:

Location—the place where the historic property/cultural landscape was constructed or the place/landscape where the historic event occurred

Design—the combination of elements that create the form, plan,

space, structure, and style of a property/cultural landscape

Setting—the physical environment of the historic property/cultural landscape

Materials—the physical elements that were combined or deposited during the particular period(s) of time and in particular pattern or configuration to form the historic property/cultural landscape

Workmanship—the physical evidence of the crafts of a particular culture or people during any given period of history or prehistory

Feeling—a historic property/cultural landscape's expression of the aesthetic of historic sense of a particular period of time

Association—the direct link between the important historic event or person and a historic property/cultural landscape

Properties that retain historic integrity will possess "several, and usually most, of the aspects" according to National Register Bulletin 15.

Both the Wattles Mansion and Gardens have a high degree of integrity. The major elements of the historic site plan, including the

service drives, the mansion, the formal gardens, and the spatial relationships between garden areas, are intact. The interior and exterior of the Mansion remain virtually unchanged since the Wattles residency. Original vegetation and landscape features in several areas of the estate are extant. The property boundaries from the latter part of the period of significance, with one small exception, remain as they were. Despite its change in use, the site today is clearly identifiable as an historic estate and gardens.

As an entire forty-nine-acre landscape, the Wattles Mansion and Gardens demonstrates each of the seven aspects of integrity. While some of the constituent gardens have suffered extensive damage, the major landscape characteristics that define the historic estate are in place. The Mansion and gardens remain in their original location. The design for the property, those elements that create its form and structure, is relatively undisturbed. The setting, although completely transformed by the urbanization of the Hollywood Hills outside the boundaries of the property, is preserved in the large undeveloped area of the Santa Monica Mountains that remains a part of the property. Spatial relationships and topography, key elements of the

setting, have also been preserved on the site. Material from the period of significance remains in place, notably the layout, materials and decorative elements of the Mansion, as well as the hardscape features in the formal gardens. The quality of workmanship of Hunt and Grey, Urquhart, and Wattles is evident. In total, the property maintains the feeling and association of a turn-of-the-twentieth-century Southern California estate.

The retention of key elements of the setting is particularly notable. Hollywood has transformed itself multiple times over the past century. The large estates and orchards prominent in the landscape at the turn of the twentieth century disappeared. Farmland was replaced by residential subdivisions. Hollywood's small commercial area was replaced by a new "downtown" in the polycentric Los Angeles. The Hollywood Hills were subdivided and urbanized. The population grew from around 1,600 at the time of Wattles's arrival to more than 50,000 in the 1920s.

The opportunity presented by changes in land use and rapid population growth did not escape Mr. Wattles, who subdivided and then sold the northwest forty acres

of the property in 1925. Since that time, the property boundaries and spatial relationships have remained intact. The preservation of the undeveloped mountainous area north of the Mansion, a total of nearly forty acres, greatly benefits the integrity of the site.

Specifically, it allows an understanding of the historic setting.

The preservation of spatial relationships within the estate is also notable. The Community Garden is located in the same area once used for agriculture. The service drives, which separate the front and side lawns from the other areas of the site, are intact. Major pathways in and around the Formal Gardens are also intact. The relationship between the Formal Gardens and the Mansion remains. The locations of the American and Japanese Gardens, although heavily altered, are still apparent.

Of the constituent gardens, the American and Japanese Gardens have seen the most damage and most alterations. Viewed individually, these gardens could be said to have low integrity and, as discussed in detail in the Treatment section, full restoration of these gardens is probably impractical. On the other hand, the Spanish and Italian Gardens can be said to have

high integrity and, in these areas, restoration is possible. Other areas of the site have varying degrees of integrity. As part of the existing conditions study, individual landscape features across the site were analyzed including circulation and land use patterns, topography, spatial organization, vegetation, and views and vistas. These features are described in detail in the Treatment Section.

Of the landscape characteristics identified, the category of vegetation requires special attention. As landscape theorists have often noted, any analysis of the historic integrity of a cultural landscape must take into account the changeable, dynamic nature of plant life. Flowers, plants, shrubs, and trees grow, change, and die. Views and vistas are obscured; feeling and association are slowly transformed. The existing conditions study conducted as part of this report examined the vegetation at Wattles estate closely. Among the many findings of this investigation was the discovery that some original plantings from the period of significance remain in place. These plantings include the avocado grove, the hedge around the service drive, Italian cypress trees in and around the formal gardens, palm trees, and the

heritage trees on the southeast side of the front lawn.

Historic photographs were used extensively to analyze historic plantings, landscape styles, and vegetation growth. The extent of photographic documentation available for the project was remarkable, including more than 300 images from different sources over the span of the life of the property. The availability of these photographs is significant, and closely related to any discussion of

integrity, because it suggests a variety of creative ways to interpret the history of the site (which experienced changes within the period of significance) through the treatment plan and educational/interpretive activities. As discussed in the Treatment section, Wattles Gardens offers remarkable potential for the preservation and interpretation of a unique cultural landscape, a turn-of-the-twentieth-century Southern California estate.

V. TREATMENT RECOMMENDATIONS

INTRODUCTION

The final step in the continued care of the Wattles Mansion and Gardens is to continue appropriate treatment approaches and develop prioritized recommendations based on these selected approaches.

Treatment recommendations are often stated as goals and objectives. Treatments of materials for the Mansion were recommended in 1992; these guidelines continue to be relevant.

The National Park Service (NPS) has identified four basic approaches to treatment: preservation, rehabilitation, restoration, and reconstruction. These approaches are used for both historic structures and landscapes. According to the guidelines established by NPS, a treatment is “a physical intervention carried out to achieve a historic preservation goal” and the selection of a treatment “provide[s] the necessary philosophical framework for a consistent and holistic approach for a cultural landscape project or historic structures” As recommended by NPS, “factors to consider when selecting an appropriate treatment for a cultural landscape report [or

historic structures]...include, but are not limited to, the extent of historic documentation, existing physical conditions, historic value, proposed use, long and short term objectives, operational and code requirements (e.g. accessibility, fire, security) and anticipated capital improvement, staffing, and maintenance costs.” The four primary treatment approaches are defined as follows:

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic features rather than extensive replacement and new construction. New additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation process.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those

portions or features that convey its historical or cultural values.

Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

Landscape treatment goals for Wattles Gardens have been developed for each of the component landscapes: Orchard (Community Gardens); Mansion, Entrance, Lawns, and Service Areas; Formal Gardens; and the American Garden, site of the Historic Japanese Garden, and Hillside (Wattles Garden Park). An overall approach for the

complete cultural landscape has also been developed in the 2002 and 2006 CLR documents.

Recommended treatments will maintain and develop compatible uses for different parts of the site; they will form the basis for City's decisions on management, maintenance, and interpretation. All identified treatment approaches, goals, and objectives have been developed based on the Secretary of the Interior's Standards for the Treatment of Historic Properties (Rehabilitation) and Guidelines for the Treatment of Cultural Landscapes.

After consideration of the historic significance, high degree of integrity, size, and continued and varied uses of the Wattles Mansion and Gardens, it is recommended that "Rehabilitation" be applied as the philosophical framework for the treatment of the site

Landscape

For each component landscape the CLR reports include: 1) a site plan showing existing conditions, 2) a site plan showing the location of vegetation, 3) a plant inventory chart, 4) a written description of the treatment recommendations, and 5) a treatment recommendation chart. The treatment recommendation chart includes a description of existing landscape features, an evaluation of

the historic nature of the feature, a brief analysis, a recommendation for that feature, action steps and a priority ranking.

Mansion

Beginning in 2009, it is recommended that a parallel exercise for the Mansion be completed using the information in this report.

Based on this information, an analysis of characteristics can be conducted. This evaluation should include consideration of the Mansion's spatial organization, circulation and building materials. Existing features can be compared with archival photographs and the 2009 inventory and existing conditions photographs to determine priorities for contemplated projects.

Treatment recommendations and priorities should be developed based on careful consideration of historic significance and integrity, existing condition, future threats such as flooding, maintenance needs, The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes, and a variety of other factors.

This section contains an overview of completed projects through

January 2009, cyclical maintenance procedures, recommended treatment by type of material and a list of continuing maintenance and contemplated projects. Special studies are contained in Appendix F.

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

Wattles Mansion							
Wattles Completed Projects 1984-2008							
House/ Gardens		Location		Description			
House	Exterior			Exterior house and trim painted			
House	Exterior			Exterior stucco replaced and patched			
House	Exterior			New roof on entire structure			
House	Exterior			Match and replace missing Spanish roof tiles			
House	Exterior			Earthquake reinforcement of roof			
House	Exterior			Earthquake bolting of house foundation			
House	Exterior			Replace exterior column moldings			
House	Attic			Install phone lines in attic crawl space			
House	Basement			Asbestos abatement			
House	Basement			New water heater			
House	Basement			Paint fire door			
House	Basement			Stucco repair			
House	Basement			Paint			
House	Basement			Plaster repair			
House	Basement			Light fixtures			
House	Billiard			Plaster repair			
House	Men's Lounge			Refinish floor			
House	Men's Lounge			Paint			
House	Men's Lounge			Repair/paint ceiling			
House	Men's Lounge			Plumbing repairs and upgrades			
House	Reception			Polish marble floor			
House	Reception			Paint			
House	Women's Lounge			Refinish floor			
House	Women's Lounge			Repair ceiling			
House	Women's Lounge			Paint			
House	Women's Lounge			Plumbing repairs and upgrades			
House	Library			Refinish/repair wood cabinets			
House	Library			Repair light fixture			
House	Library			Install window blinds			
House	Living Room			Paint			
House	Living Room			Plaster repair			
House	Living Room			Floor refinished			
House	Living Room			Light fixtures			
House	Gallery			Install handicapped/unisex bath room			
House	Gallery			Paint			
House	Gallery			Plaster repair			
House	Gallery			Refinish floor			
House	Gallery			Light fixtures			
House	Gallery			Repair chandelier			
House	Kitchen Hall			Upgrade to electrical system			
House	Kitchen Hall			Paint			
House	Kitchen Hall			Plaster repair			
House	Kitchen Hall			Smoke detector			
House	Kitchen Service Dining			Repair/replace stucco			
House	Kitchen Service Dining			New floor			
House	Kitchen Service Dining			New paint			

Wattles Mansion							
Wattles Completed Projects 1984-2008							
House/ Gardens		Location		Description			
House	Kitchen	Service Dining		New light fixture			
House	Kitchen	Pantry		Paint			
House	Kitchen	Pantry		New floor			
House	Kitchen			New floor			
House	Kitchen			Light fixtures rebuilt/replaced			
House	Kitchen			Ceiling repair			
House	Kitchen			Smoke Detector			
House	Kitchen			Fire extinguisher			
House	Dining Room			Strip/refinish wood			
House	Dining Room			Patch ceiling			
House	Dining Room			Paint			
House	Dining Room			Refinish floor			
House	Dining Room			Install light fixture			
House	Service Porch			Rebuild stairs			
House	Service Porch			Paint floor			
House	Master Bedroom 2			Plaster repair			
House	Master Bedroom 2			Paint			
House	Master Bedroom 2			Floor refinished			
House	Master Bedroom 2			Smoke detector			
House	Master Bedroom 2			Light fixtures			
House	Master Bedroom 1			Paint			
House	Master Bedroom 1			Light fixtures			
House	Master Bedroom 1			Floors refinished			
House	Master Bedroom 1			Phone lines			
House	Master Bedroom 1			Smoke detector			
House	Master Bedroom 1			Plaster repair			
House	Bath			Paint			
House	Bath			Plumbing			
House	Bath			Light fixtures			
House	Bedroom 1			Smoke detector			
House	Bedroom 1			Paint			
House	Bedroom 1			Floor refinished			
House	Main Gallery			Light fixtures			
House	Main Gallery			Floor refinished			
House	Main Gallery			Smoke detector			
House	Main Gallery			Paint			
House	Main Gallery			Wood molding stained			
House	Main Gallery			Plaster repair			
House	Baths			Paint			
House	Bedroom 2			Light fixtures			
House	Bedroom 2			Smoke detector			
House	Bedroom 2			Paint			
House	Bedroom 2			Plaster repair			
House	Bedroom 2			Floor refinished			
House	Stair Vestibule /Bath			Light fixture			
House	Stair Vestibule /Bath			Paint			
House	Stair Vestibule /Bath			Stucco /plaster repair			
House	Stair Vestibule /Bath			Plumbing repairs			
House	Stair Vestibule /Bath			Extinguisher			
House	Stair Vestibule /Bath			Light fixture			
House	Stair Vestibule /Bath			Upgrade to electrical system			
House	Maid Room 1			Paint			
House	Maid Room 1			Floors refinished			

Wattles Mansion							
Wattles Completed Projects 1984-2008							
House/ Gardens		Location		Description			
House	Maid Room 1			Light fixtures			
House	Maid Room 1			Smoke detector			
House	Maid Room 1			Plaster repair			
House	Maid's Room 2			Paint			
House	Maid's Room 2			Light fixtures			
House	Maid's Room 2			Floor refinished			
House	Maid's Room 2			Plaster repair			
House	Bedroom 3 with 2 Closets			Paint			
House	Bedroom 3 with 2 Closets			Smoke detector			
House	Bedroom 3 with 2 Closets			Floor refinished			
House	Bedroom 3 with 2 Closets			Light fixtures			
House	Bedroom 3 with 2 Closets			Plaster repair			
House				Interior plaster patched and replaced			
House				Interior walls painted			
House				First and second floor wood floors sanded and refinished			
House				Interior wood stripped, cleaned and stained			
House				Remove and repair kitchen dry rot and termite damage			
House				Remove rusted and clogged plumbing			
House				Repair and replace plumbing guest bathrooms			
House				Replace missing and broken glass			

Wattles Mansion							
Wattles Completed Projects 1984-2008							
House/ Gardens		Location		Description			
Gardens	Formal Spanish Garden			Mud and debris cleared from Spanish Formal Garden			
Gardens	Formal Spanish Garden			Cleared and replanted			
Gardens	Formal Spanish Garden			Install sprinkler system			
Gardens	Formal Spanish Garden			Painting walls and railings			
Gardens	Formal Spanish Garden			Install handicap entrance			
Gardens	Formal Spanish Garden			Reactive and restore fish pond			
Gardens	Formal Spanish Garden			Install lighting of palm trees, steps and pond			
Gardens	Italian Rose Garden			Rebuild, repair and replace missing bricks on walkways			
Gardens	Italian Rose Garden			Clear brush and debris on hillside			
Gardens	Italian Rose Garden			Cleared and replanted			
Gardens	Italian Rose Garden			Mud and debris cleared from Spanish Formal Garden			
Gardens	Italian Rose Garden			Replace missing urn			
Gardens	Italian Rose Garden			Restore and reactivate fish pond			
Gardens	Italian Rose Garden			Mulch flower beds			
Gardens	Italian Rose Garden			Remove dead trees and stumps			
Gardens	Italian Rose Garden			Painting walls and railings			
Gardens	Lawn			Lawn watered, fertilized and brought back to life			
Gardens	Lawn			English Bay Leaf hedge trimmed and pruned			
Gardens	Lawn			Driveway asphalt patched and repaired			
Gardens	Lawn			Planting area facing wall planted			
Gardens	Lawn			Remove dead trees and stumps			
Gardens	Lawn			Sprinkler systems upgraded, replaced and repaired			
Gardens	Lawn			Driveway concrete repair and new asphalt			

RECOMMENDATIONS FOR TREATMENT

Primary historic materials found at the Wattles Mansion include brick, cement plaster, s-shaped roof tiles, marble veneers and floors, art glass, decorative plaster, and architectural metals. The following tables provide general guidelines for the conservation and rehabilitation of each material.

Concrete and Masonry

Exterior features as well as exterior surfaces and their treatment (modeling, tooling, bonding patterns, joint size, and color) are important in defining the historic character of the building. Buildings that have concrete exteriors or masonry detailing may exhibit the following conditions and, therefore, require maintenance and rehabilitation: impact damage at building corners; cracks; damage due to spalling; damaged ornamentation on friezes and columns; peeling paint; inappropriate patching methods; inappropriate treatments such as sandblasting which exposed softer inner materials; and repointing of brick mortar joints by inappropriately composed and colored materials applied with non-matching tooling.



Guidelines for Concrete and Masonry:

- 1 Repair walls and other features where there is evidence of deterioration such as spalling, damp walls, or damaged concrete or masonry.
- 2 Sandblasting shall not be used to prepare or clean exterior concrete or masonry. Blasting by any media, including liquids, shall not be used unless it can be demonstrated that no surface material is removed by application. Application of any liquid media shall not exceed a pressure of 150 pounds per square inch measured where the liquid leaves the application nozzle. Use non-abrasive tools, such as natural bristle brushes;

do not use abrasive or gouging tools, such as wire brushes and scrapers.

- 3 Repair concrete or masonry features by patching, piecing-in, or consolidating the concrete or masonry. Repair may also include the limited replacement in kind, or with compatible substitute material, of those extensively deteriorated or missing parts of concrete or masonry features when there are surviving prototypes, such as brackets, pilasters or chimneys.
 - 4 Install a new concrete or masonry feature such as steps, door pediments, detailing, or chimneys when the historic feature is completely missing. This should be an accurate reconstruction using historical, pictorial, and physical documentation when available. If documentation is not available, this may be a new design that is compatible with the size, scale, material, and color of the historic building.
 - 5 It is recommended, but not required, that the building be repainted with colors that are identified through examination of strata by a qualified architect or conservator, or which are historically appropriate to the building.
 - 6 Testing and application of treatments to stabilize historic concrete, stone and masonry materials is encouraged, provided that any consolidants or coatings can be demonstrated to have a minimum permeability rating of 12 perms, and to have no long term detrimental effects on the historic materials.
-

- 7 Repointing of historic masonry mortar joints shall utilize mortar mixes formulated to match the composition and color of historic mortar based on laboratory analysis and reporting of the composition and color of the matrix and aggregate in the historic mortar. Tooling of mortar repairs and restorations shall match historic mortar tooling as identified by the HSR or a qualified preservation architect or building materials conservator. Removal of deteriorated or inappropriate mortars prior to repair shall be accomplished with the utmost care, preferably using hand tools, and shall cause no damage or change to the historic masonry.
- 8 Do not permit plants or weeds to grow on the building. Uproot all weeds as soon as possible. Remove climbing plants from walls.
- 9 Provide sound roofs and flashing, and proper drainage so that water does not infiltrate, wash down, stand or accumulate. Provide inconspicuous site drainage.

References:

Preservation Brief 1: The Cleaning and Water-Repellent Treatment of Historic Masonry Buildings

<http://www2.cr.nps.gov/tps/briefs/brief01.htm>

Preservation Brief 2: Repointing Mortar Joints in Brick Buildings

<http://www2.cr.nps.gov/tps/briefs/brief02.htm>

Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief06.htm>

Preservation Brief 15: Preservation of Historic Concrete

<http://www2.cr.nps.gov/tps/briefs/brief15.htm>

Preservation Brief 23: Preserving Historic Ornamental Plaster

<http://www2.cr.nps.gov/tps/briefs/brief23.htm>

Preservation Brief 38: Removing Graffiti from Historic Masonry

<http://www2.cr.nps.gov/tps/briefs/brief38.htm>

Preservation Brief 41: The Seismic Retrofit of Historic Buildings:
Keeping Preservation in the Forefront

<http://www2.cr.nps.gov/tps/briefs/brief41.htm>

Buildings with wood features exhibit the following conditions which may require maintenance and rehabilitation: repair of deteriorating material; sealing or painting, eaves, or trim due to weathering, water damage, fungal or insect damage.

Guidelines for Wood:

- 1 Evaluate the overall condition of the wood to determine the extent of protection and maintenance required.
- 2 Repair wood features by patching, piecing-in, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may also include the limited replacement in kind, or with compatible substitute material, of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, moldings, or sections of siding.
- 3 Use matching species wherever feasible when replacing unrepairable historic painted elements. Utilize wherever possible wood which is naturally resistant or treated to be resistant to water, fungus and insect damage. Utilize wood which is naturally dried or kiln dried and relatively free of knots and checks in order to assure a longer life for replacement materials.
- 4 Design and install a new wood feature such as a cornice or doorway when the historic feature is completely missing. This should be an accurate restoration using historical, pictorial, and physical documentation. Where documentation does not exist, a new design that is compatible with the size, scale, material, and color of the



historic building may be used.

- 5 Apply compatible paint coating systems following proper surface preparation. Sandblasting shall not be used to prepare or clean historic wood exterior elements. Blasting by any media, including liquids, shall not be used unless it can be demonstrated that no surface material is removed by application. Application of any liquid media shall not exceed a pressure of 150 pounds per square inch measured where the liquid leaves the application nozzle. Paint shall match existing surface coating thickness. Use non-abrasive tools, such as natural bristle brushes; do not use abrasive or gouging tools, such as wire brushes and scrapers.
- 6 It is recommended, but not required, that the building be refinished with colors that are identified through examination of strata by a qualified architect or conservator, or which are historically appropriate to the building.

References:

Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief06.htm>

Preservation Brief 10: Paint Problems on Historic Woodwork

<http://www2.cr.nps.gov/tps/briefs/brief10.htm>

Architectural metal features may require rehabilitation and maintenance due to weathering and corrosion.

Guidelines for Architectural Metals:

- 1 Identify, retain, and preserve architectural metal features such as columns, capitals, window hoods, canopy cladding or fascia, stairways, light fixtures or gates that are important in defining the overall historic character of the building. Also identify and preserve their finishes and colors. If originally painted, it is recommended, but not required, that the architectural metals be repainted with colors that are historically appropriate to the building.
- 2 Clean architectural metal, when necessary, with gentle non-abrasive cleaning methods to remove corrosion. Sandblasting shall not be used to clean historic metal surfaces.
- 3 Apply appropriate paint or other coating systems after cleaning in order to decrease the corrosion rate of metals or alloys.
- 4 Repair architectural metal features by patching, splicing, or otherwise reinforcing the metal. Repairs may also include the limited replacement in kind, or with a compatible substitute material, of those extensively deteriorated or missing parts of features when there are surviving prototypes such as porch balusters, column capitals or bases, or roof ornaments.
- 5 Design and install a new architectural metal feature such as an entry door or sheet metal cornice when the historic



feature is completely missing. It may be an accurate reconstruction using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the building.

References:

Preservation Brief 27: The Maintenance and Repair of Architectural Cast Iron

<http://www2.cr.nps.gov/tps/briefs/brief27.htm>

Doors, entrances, and porches are often the principal features of historic buildings, particularly when they occur on primary elevations. Their functional and decorative features, such as the type of door, steps, balustrades, and entrances or porches are extremely important in defining the overall historic character of a building. Their retention, protection, and repair should always be carefully considered when planning rehabilitation work.

Doors and porches are subject to weathering and deterioration and may require maintenance and rehabilitation, which could include cleaning and repair of attachments, flashing and hardware.

Guidelines for Doors, Entrances and Porches:

- 1 Identify, retain, and preserve entrances, and their functional and decorative features that are important in defining the overall historic character of the building such as doors, transoms, sidelights, pilasters, entablatures, columns, balustrades, and stairs.
- 2 Protect and maintain the masonry, wood, and architectural metal that comprise entrances and porches through appropriated surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems, replacement of broken glass, and replacement of deteriorated sealants or glazing compounds.



- 3 Repair entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind, or with compatible substitute material, of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.
- 4 Design and construct a new entrance or porch if the historic entrance or porch is completely missing. It may be a reconstruction based on historical, pictorial, and physical documentation; or be, a new design that is compatible with the historic character of the building.
- 5 Design and install additional entrances or porches when required for the new uses in a manner that preserves the historic character of the building. In general, such alterations should be limited to non-character defining elevations. New entrances and porches shall be compatible and may be of contemporary design provided they do not destroy character-defining features. To the extent visible, new entrances and porches shall be reversible.

References:

Preservation Brief 10: Exterior Paint Problems on Historic Woodwork

<http://www2.cr.nps.gov/tps/briefs/brief10.htm>

Windows

The type and size of window openings are extremely important in defining the overall historic character of a building. Their retention, protection, and repair should always be carefully considered when planning rehabilitation work. Wood windows may deteriorate from hard use, warping, or settling, and metal windows are susceptible to water damage. Glazed openings may shatter.

Guidelines for Windows:

- 1 Identify, retain, and preserve historic window features that are important in defining the overall historic character of the building. Such features include frames, sash, muntins, glazing, sills, heads, and hood molds.
- 2 Protect and maintain the wood and architectural metal which comprise the window frame, sash, muntins, and surrounds through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.
- 3 Make windows weather tight and improve thermal efficiency by recaulking and replacing or installing weather stripping.
- 4 Construct and install new windows if the historic windows (frame, sash and glazing) are completely missing, have been replaced with non-original materials, or are too deteriorated to repair. The replacement windows shall be an accurate reconstruction using historical, pictorial, and physical documentation.



Guidelines for Windows:

- 5 | Replace broken clear glass with clear non-reflective glass to match historic materials and configuration.

References:

Preservation Brief 3: Conserving Energy in Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief03.htm>

Preservation Brief 9: The Repair of Historic Wooden Windows

<http://www2.cr.nps.gov/tps/briefs/brief09.htm>

The roof is a contributing factor in defining the building's overall historic character. In addition to the design role it plays, a weather tight roof is essential to the preservation of the entire structure. Thus, protecting and repairing the roof as a "cover" is a critical aspect of a rehabilitation project.

Guidelines for Roofs:

- 1 Protect and maintain a roof by cleaning and refinishing coping, cleaning the gutters and downspouts, and replacing deteriorated flashing. Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to insure that materials are free from insect infestation.
- 2 Provide adequate anchorage for roofing material to guard against wind damage and moisture penetration.
- 3 Repair a roof by reinforcing the historic materials which comprise roof features, including cornice lines, exposed rafter tails, brackets, and soffits. Replacement or repairs should use replacement in kind, or with compatible substitute material. When replacing the roof, remove existing membrane down to wood decking. Inspect exposed decking and replace deteriorated wood members; retain historic sheathing materials such as board sheathing.
- 4 Repair broken gutters and downspouts. If repair is not possible, replace in kind to match existing. Re-solder broken joints. Where missing, replicate historic gutters and downspouts or provide compatible new gutters and downspouts.



References:

Preservation Brief 4: Roofing for Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief04.htm>

Structural systems of historic buildings may need repair due to deterioration, fire, or seismic activity.

Guidelines for Structural and Mechanical Systems:

- 1 Protect and maintain the structural system by cleaning the roof gutters and downspouts; replacing roof flashing; keeping masonry, wood, and architectural metals in a sound condition; and assuring that structural members are free from insect infestation.
- 2 Repair the structural system by augmenting or upgrading individual parts or features. For example, weakened structural members such as floor framing can be spliced, braced, or otherwise supplemented and reinforced.
- 3 Install new work as a requirement of current seismic or code requirements so as not to adversely impact exterior facades. Provide seismic reinforcements as required to an historic building in a manner that avoids damaging the structural system and character-defining features, including window and door openings.
- 4 Design and install new mechanical or electrical systems which minimize the number of cutouts or holes in structural members.



References:

Preservation Brief 3: Conserving Energy in Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief03.htm>

Preservation Brief 24: Heating, Ventilating and Cooling Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief24.htm>

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

The building retains much of its interior character-defining features and materials, such as space configurations, interior walls, painted finishes, wood trim, and decorative elements.

Guidelines for Interior Spaces:

- 1 Interior character-defining spaces and features should be retained.
- 2 Construction of new interior floor plans or arrangement of spaces shall not adversely impact the exterior historic character of the building facade, i.e. infill of window or door openings, or the creation of new inappropriate openings. Where doors or windows are no longer needed, the existing doors and windows should be retained in place, and if necessary made inoperable in a reversible manner which would allow for later reuse. If in the reuse of existing spaces, the covering of door and window openings cannot be avoided by alternate uses or interior space design, then interior coverings shall be added in such a manner that any glazed openings match the appearance of uncovered glazed openings in both daylight and at night.
- 3 Retention, protection, and repair should be given prime consideration and caution exercised in pursuing any plan that would radically change character-defining spaces or obscure, damage or destroy interior features or finishes.



- 4 Materials, surfaces and finishes on ceilings, walls, floors and trim shall be retained in the course any alterations or additions.
- 5 It is recommended, but not required, that the building be repainted with colors identified through examination of strata by a qualified architect or conservator, or which are historically appropriate to the building.

References:

Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief06.htm>

Preservation Brief 10: Paint Problems on Historic Woodwork

<http://www2.cr.nps.gov/tps/briefs/brief10.htm>

Preservation Brief 18: Rehabilitating Interiors in Historic Buildings

<http://www2.cr.nps.gov/tps/briefs/brief18.htm>

Preservation Brief 21: Repairing Historic Flat Plaster – Walls and Ceilings

<http://www2.cr.nps.gov/tps/briefs/brief21.htm>

The presence of decorative arts adds to the character and significance of a building by providing rare and unique elements of artistic creation. These decorative arts can represent the work of a master artisan, the development of important artistic techniques, and the depiction of cultural taste at a particular period in time. Retaining, repairing, and protecting decorative arts requires careful work and proper documentation.

Guidelines for Decorative Arts:

- 1 If significant decorative painting or wall papering is discovered during the course of work on the buildings, then those elements should be protected, and stabilized to retard or prevent future deterioration, preferable left visible for display and interpretation, or documented if covered by reversible finishes.
- 2 The element shall be photo-documented and the location described precisely.
- 3 Surface dust shall be removed. Excess dirt and grease shall be removed only where necessary and only using gentle methods. General cleaning shall occur, if at all, after assessment and specification of methods and materials by a qualified art or materials conservator.



References:

Preservation Brief 40: Preserving Historic Ceramic Tile Floors

<http://www2.cr.nps.gov/tps/briefs/brief40.htm>

The relationship between historic buildings and landscape features helps to define historic character and should be considered an integral part of planning for rehabilitation project work.

Guidelines for Site Characteristics:

- 1 Identify and evaluate building site features important in defining its historic character. Site features can include walkways, lighting, fencing, signage, fountains, plants, trees, paving, sidewalks, and curbs.
 - 2 Retain the historic relationship between buildings, landscape features, and open space to the extent feasible.
 - 3 New plantings shall be compatible with the historic landscape character of the site and may be of contemporary design provided such alterations and additions do not destroy character-defining features. Important resources, such as healthy large specimen trees, shall be retained if feasible. All planted areas shall reflect the need for water conservation.
 - 4 In general, the existing streets and their elements (curbs, sidewalks, and street paving) should be retained where possible. Where changes are made, the new design shall reflect the traditional elements of the existing streets by referencing elements of street, curb, and sidewalk. These references may be made by delineating materials, colors, or texture of paving.
- New paving, if any, should not overwhelm or detract from



5 | the colors and architectural features of the building. Use of street furniture and movable landscaping are appropriate for enhancing the setting and pedestrian use of the site.

It is sometimes necessary to make modifications to a historic building so that it can comply with current health, safety and code requirements. Such work needs to be carefully planned and undertaken so that it does not result in a loss of interior or exterior character-defining spaces, features, and finishes.

The *Americans with Disabilities Act* (ADA) applies to employment, as well as access to public structures and services or public accommodations owned or operated by private entities. In general, there are special rules and minimum access requirements where an alteration would threaten or destroy the historic significance of an historic building. To use the minimum requirements, consultation is required with the State Office of Historic Preservation. The California Historical Building Code offers alternative measures for application to qualified historical structures that help avoid the loss of historic character. It is mandatory that local and state building and fire safety officials recognize the code where applicants utilize relevant provisions.

Guidelines for Code Compliance:

- 1 Identify the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.
- 2 Comply with health and safety codes, including seismic codes and barrier-free access requirements, in such a manner that character-defining spaces, features, and finishes are preserved.



- 3 If alterations for code compliance result in the loss of historic character due to the substantial alteration of character-defining features and spaces, study alternatives to demonstrate whether or not there are other designs that would provide both code compliance and retention of historic character.
- 4 If there are not alternatives under general application codes allowing historic character to be retained, use of the State Historical Building Safety Code shall govern code requirements. Study alternatives to demonstrate whether or not there are other designs which would provide both compliance and retention of historic character using this code.
- 5 New structural or seismic reinforcement members, including anchor bolts, shall be hidden from view whenever possible.

References:

Preservation Brief 32: Making Historic Properties Accessible

<http://www2.cr.nps.gov/tps/briefs/brief32.htm>

RECOMMENDED TREATMENTS (1992 HSR)

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

SCHEMATIC MASTER PLAN



Wall along Terraced Garden.

RECOMMENDATIONS AND PRIORITIES

Following is a list of rehabilitation recommendations with priorities according to the urgency with which they should be addressed. It is clear that addressing the exterior is, in general, of greater urgency than interior considerations, and therefore receives higher priority. In each case, the designation of the priority is based on the importance of the particular building element or system, its vulnerability to deterioration, and the long-term effects of either undertaking or postponing its repair and rehabilitation. The following list was originally developed in 1989 for the History and Archeology Grant Program Application. Reference numbers following refer to the listing in the application; some of the items have been corrected, or addressed, as noted below.

Priority I - Life Safety and Accessibility Issues

The most urgent need is to correct those conditions which pose immediate or potential hazards to the occupants of the building or to the general public. In addition, providing disabled access is a primary concern as a requirement for projects relying on State funding.

ROOFS

1. Remove all loose or broken roof tiles on parapets and Caretaker's Cottage. (Note: This work was accomplished in 1992.)

ELECTRICAL / SECURITY

16. Prune the tree entangling the electrical supply cable in the Service Yard. (Service was rerouted around the tree in 1992.)

STRUCTURE

7. Service Porch: Strengthen first floor structure; rebuild stair down to grade. (Note: The stairs were rebuilt in 1992.)

- 17a. The entire electrical distribution system needs to be inspected by an electrical contractor to determine the extent of any safety or fire hazards.

- 17b. A new main panel is required to meet service needs. (This work was done in 1992.)

HVAC / FIRE PROTECTION

11. Remove or encapsulate all asbestos duct insulation. Install new insulation.
12. Establish a one-hour fire rated enclosure around the furnace in the Basement. Install automatic sprinklers in the Basement, dampers in heating ducts, and smoke and heat detectors throughout the mansion. All of these elements will need to be connected into a central alarm system.

- 17c. The service to and within spaces with the greatest electrical loads should be improved. These spaces include the Kitchen, the second floor offices, and, probably the Living Room. This will mean replacement of the appropriate subpanels and interior knob and tube wiring, and removal of wiremold and other visible modern elements in these spaces. Preserve existing historical fixtures, switches, receptacles, etc., rehabilitating them as required to meet current safety standards. Preserve existing marble-faced subpanels as well, although they will not be functional. Conceal telephone lines which are presently exposed inside mansion. (Note: A new main panel was installed and the original subpanels were abandoned and preserved in place in 1992.)

PLUMBING

19. Verify that all abandoned or deteriorated gas piping has been disconnected.
- 22a. All bathroom fixtures should be functional. Repair existing bathroom fixtures where possible, and install rehabilitated antique or reproduction fittings where fixtures are missing or beyond reasonable repair. Rehabilitate supply and drain piping, replacing where needed; coordinate this with electrical work to minimize damage to historic finishes.
- 22b. Eliminate the present hose connections on the service porch or install a floor sink with a drain.

DISABLED ACCESSIBILITY

- 22c. Relocate existing fixtures or add new fixtures to satisfy the requirements for accessibility by the disabled. Consider converting the Garden/Dark Room off the first floor Gallery into a handicapped accessible toilet for use by both sexes.
23. Create at least one accessible entrance for the disabled to the mansion and gardens. Ideally, this would be at a single location, through the west garden gate, into the Terraced Garden and, up a small ramp into the mansion.

This will require ramping of the brick walk at the driveway, screening of the trash area, and some modification of the gates.

TERRACED GARDEN

34. Modify irrigation heads so that there is no direct spray onto mansion or garden walls.
35. Repair area drains in conjunction with paving repair.
36. Arrest parasitic plant invasion in planting beds.

HILLSIDE

47. Remove all deadwood (a potential fire hazard) within the new lease line. (This work was accomplished in 1992. Periodic removal will be necessary to prevent further accumulation of deadwood.)

Priority 2 - Water Protection Issues

Water is the greatest enemy of building materials. It is critical that the protective integrity of the building envelope be maintained and restored as required. The issues that follow are intended to correct existing water penetration problems.

ROOFS

2. Remove all roof tiles and asphalt sheathing below. Save all tile for reinstallation. Remove all deteriorated flashing and counter-flashing. Inspect wood sheathing and trim for rot and insect damage and replace deteriorated elements. Remove and replace built-up roofing. Reinstall existing tiles on the mansion and west addition, over felt, using wire ties. Install new tile, custom-made to match existing, if possible, in less-visible locations and on the caretaker's cottage. Add new flashing at top of tile parapet around the perimeter of flat roof area on the mansion and west addition; repair or replace copper flashing at the ridge of the caretaker's cottage. Repair roof drains, replacing screens. Repair flashing at all roof penetrations. Extend vents to height required by code. Repair roof hatch and scuttle as required. Point, patch cracks, and provide seismic reinforcement for the chimney. (Note: This work was accomplished in 1992.)



Loose clay tiles.

and replace built-up roofing. Reinstall existing tiles on the mansion and west addition, over felt, using wire ties. (1992.)

Install new tile, custom-made to match existing, if possible, in less-visible locations and on the caretaker's cottage. Add new flashing at top of tile parapet around the perimeter of flat roof area on the mansion and west addition; repair or replace copper flashing at the ridge of the caretaker's cottage. Repair roof drains, replacing screens. Repair flashing at all roof penetrations. Extend vents to height required by code. Repair roof hatch and scuttle as required. Point, patch cracks, and provide seismic reinforcement for the chimney. (Note: This work was accomplished in 1992.)

5. Install a perforated drain below grade around the perimeter of the main house and additions. Particularly on the north, downspouts should connect into an underground storm drain to transfer roof runoff away from the building. There are several Basement areas with damp walls. The walls at the foot of the stairs to the main floor are in the worst condition. Remove these deteriorated portions of water damaged finishes; repair framing as required and replaster. Repairing the roof and installing the perimeter drainage system should halt this condition. However, if rising damp is contributing to the problem, installation of a dampproof course between foundation and plate or, at least, treatment of plate and framing just above with a

3. After further investigation, it may be necessary to replace wood sheathing with plywood to create a diaphragm for seismic strengthening.

DRAINAGE

4. Repair gutters and reinstall missing sections to match existing. (Note: This work was partially completed in

fungicide may be required as protection from dampness below grade.

8. Undertake selective investigative demolition on the south facade to determine the cause of buckling and cracking of plaster, and the underlying condition of the wood structure. Repair framing and plaster finish as required.

10. Inspect structure in crawl space below mansion to determine whether foundation bolting is required for seismic stabilization. (See the Wattles Mansion Seismic Structural Evaluation in the Appendix.)

INTERIOR FINISHES

- 9a. Replace significantly deteriorated finishes, such as flooring in the Kitchen and adjacent Service Hall and wall paneling in the Basement, keeping such replacement to a minimum area. (Note: Flooring was replaced in 1992.)
- 9b. Exterior woodwork should be properly prepared and repainted or restained to match the original finish of each element.

Priority 3 - On-going Deterioration Issues

Additional items which are currently contributing to the on-going deterioration of historic materials and finishes must be attended to in a timely manner.

STRUCTURE

9. An updated termite inspection to determine whether there is any ongoing infestation is in order. This inspection should also assess the extent of rot in both structural and non-structural wood elements. Treat the building as required to halt any destructive processes and correct deterioration. Replace all impacted structural material by cutting in short sections rather than replacing entire members where possible.

PLUMBING

20. Water pressure may be low due to corrosion of main supply pipe, decreasing its effective cross-sectional area. Replace main supply pipe for the mansion from the meter at the main driveway.

21. Inspect hot water heater to determine age and condition. (Note: This work was accomplished in 1992.)

ROSE GARDEN

- 25. Mulch cover all bare soil in the rosebeds. Repair area drains in conjunction with paving repair.
- 26. Install a new, automatic, water conserving irrigation system in the Rose Garden.
- 27. Remove dead or unwanted trees and large shrubs. Prune all overgrown existing trees, shrubs and vines to remain. (Note: This work was accomplished in 1991.)

adequate heat supply to all rooms. Consider modification of system to provide more efficient control and energy conservation: e.g., replacement of existing furnace with a new high-efficiency unit with electric ignition, and division of the mansion into zones with independent thermostats.

- 15. Add weather-stripping at doors and windows to help control temperature and the infiltration of particulate matter into Mansion.

ELECTRICAL

Priority 4 - Functional Issues

Some building defects are less serious either because they are not causing further deterioration or because they involve less significant building systems or elements. This category includes recommendations for work which can be accomplished on a gradual basis through ongoing maintenance.

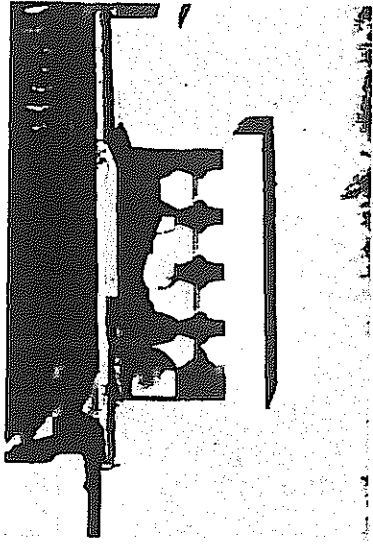
HVAC

- 13. Provide an outside air intake for the furnace.
- 14. Have entire heating system cleaned. Clean dust and debris from ducts and vents. Determine which supply grilles are functional and if the system is balanced and providing

TERRACED AND ROSE GARDEN

- 18. Replace inappropriate electrical fixtures with suitable antiques or reproductions.
- 24. Provide an additional handicapped accessible entrance to the north end of the Rose Garden from the street.
- 28. Repair garden walls, balustrades, and pergolas. Provide new cast concrete caps and balusters where required and carefully patch plaster surfaces. Evaluate and repair or rebuild steel arbor.

29. Renovate the reflecting pool and fountain; retrofit with filtration equipment.
30. Install new electrical connections and equipment for security lighting and surveillance systems and landscape lighting, fountain and irrigation controls. (Although security equipment and lighting has been given a low priority, the prevention of deterioration by vandalism should be considered a high priority.)
40. Remove present landscape lighting and install new lights for stairs; retrofit wall-mounted lighting.



Deteriorated balustrade.

Priority 5 - Restoration of Finishes and Furnishings

The scope of ARG's initial investigation covers only the more critical items outlined in the original 1988 grant application; consequently restoration of finishes and furnishings are not included in the recommendations of this historic report. These tasks, and others to be determined in future studies, will be addressed later and may eventually be coordinated where practical with other higher-priority work to reduce costs.

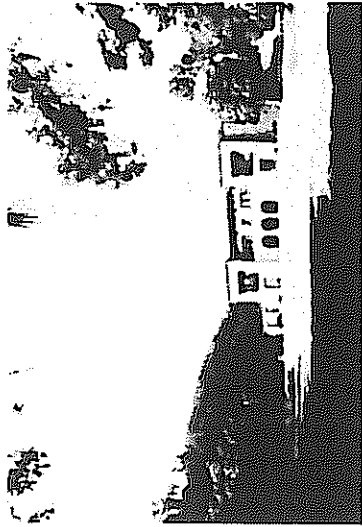
GREAT LAWN, DRIVEWAY AND PERIMETER

43. Evaluate and resolve the drainage problems along the sloped edge of the Great Lawn.
44. Install a new automatic irrigation system with low-precipitation pop-up heads.
45. Repair sidewalk, steps, and service yard paving.
48. Install a new water conserving irrigation system.

TERRACED AND ROSE GARDENS

33. Restore historic garden furnishings as appropriate.
41. Complete planting restoration.
49. Complete planting restoration on areas within the west fence along Curson Avenue. Complete planting restoration on slope east of the existing lease line fence.

COST ESTIMATES



Wattles Mansion South Elevation.

The following costs are preliminary estimates based upon observations made during site visits in March 1990 and research following these visits. Each cost includes a figure for Contractor's overhead and profit, insurance and fees, and a percentage for General Conditions (administrative expenses, site protection, temporary utilities, clean up, etc.) which a Contractor would include in his cost for the work. The costs also include the expense of scaffold where needed: Hollywood Heritage, Inc. could save money over the long-term by purchasing a single section of scaffold.

The costs have been grouped by priority to enable Hollywood Heritage, Inc. to evaluate which expenditures should be allocated immediately and which may be planned for a future time. The costs address items covered by the History and Archeology Grant. Other work items are included but estimates are not provided. Costs were originally estimated for a construction period of Summer 1991 and have not been escalated. Costs for lower priority items have not been included.

WATTLES MAN N and GARDENS

Historic Structures Report

Priority 1 - Life Safety Issues

✓ Removal of damaged roof tiles	\$500
✓ Service porch structural work	\$13,000 - \$17,700
Asbestos removal or encapsulation	
	(funds from other sources)
Furnace enclosure, sprinklers, & alarm	\$12,500
✓ Prune tree in service yard	\$600
Disconnect gas piping	(maintenance item)
<u>Remove hillside deadwood</u>	<u>\$6,000</u>
Priority 1 Subtotal	\$33,200 - \$37,300

Priority 2 - Water Protection Issues

✓ Complete roof restoration	\$18,600
✓ Roof diaphragm	\$4,200
✓ Gutter repair	\$1,400
✓ Perimeter drainage	\$4,400
✓ Basement repair and dampcourse	\$900 - \$3,300
Exterior & interior plaster wall & ceiling investigation & repair	\$500 - \$2,800
<u>Terraced Garden irrigation</u>	<u>\$300</u>
Priority 2 Subtotal	\$30,300 - \$35,000

Priority 3 - On-going Deterioration Issues

✓ Termite & rot inspection, treatment & repair	\$600 - \$6,000
Foundation inspection & bolting	\$1,500 - \$4,300
✓ Electrical system modification	\$7,500
Water supply main work	\$2,500
✓ Water heater inspection	(maintenance item)
Rose bed, paving & drain work	\$7,000
Rose Garden irrigation	\$11,000
✓ Rose Garden pruning & clearing	\$1,900
Terraced Garden paving & drain work	\$4,800
<u>Terraced Garden parasitic plant treatment</u>	<u>(maint. item)</u>
Priority 3 Subtotal	\$36,800 - \$45,000

WATTLES MANSION and GARDENS

Historic Structures Report

Priority 4 - Functional Issues

- Outside air to furnace
- Clean & rehab heating system
- Weather-stripping
- Replace lighting fixtures
- Plumbing fixture & piping work X
- Accessible entrance to mansion X
- Accessible entrance to rose garden
- Rose Garden hardscape repair
- Reflecting pool rehabilitation
- Rose Garden electrical work
- Rose Garden lighting
- Rose Garden planting restoration X
- Terraced Garden hardscape repair
- Fountain renovation
- Terraced Garden electrical work
- Terraced Garden lighting rehabilitation
- Drainage work at Great Lawn
- Great Lawn irrigation system
- Paving repair work
- Hillside irrigation system

Priority 5 - Restoration of Finishes and Furnishings

- Rose Garden site furnishings
- Terraced Garden planting restoration
- Terraced Garden site furnishings
- Great Lawn, Driveway & Perimeter Planting Restoration
- Hillside & west side planting restoration

Hollywood Heritage Inc.					
Wattles Mansion and Gardens Historic Structures Report Update May 2009					
ARG Item #	ARG Priority#	Location	Description	Status	Date
1	1	Roof	Removal of damaged roof tiles	Work completed.	1992
2	1	Service Porch	Service porch structural work	Stairs rebuilt.	1992
3	1	Throughout	Asbestos removal or encapsulation	Asbestos abatement	
4	1	Throughout	Furnace enclosure, sprinklers, & alarm		
6	1	Throughout	Disconnect gas piping		
8	2	Roof	Complete roof restoration	Work completed.	1992
9	2	Roof	Roof diaphragm	Work completed.	1992
10	2	Roof	Gutter repair	Work partially completed.	1992
12	2	Basement	Basement repair and dampcours	Repair and re-plaster of basement billiard room	
13	2	Throughout	Exterior & interior plaster wall & ceiling investigation & repair	Interior plaster patched and replaced; interior walls painted; exterior stucco replaced and patched; exterior house and trim painted	
15	3	Throughout	Termite & rot inspection, treatment & repair	Remove and repair kitchen dry rot and termite damage	
16	3	Foundation	Foundation inspection & bolting	Earthquake bolting of house foundation	
17	3	Throughout	Electrical system modification	Newmain panel installed; original subpanels abandoned and preserved in place.	1992
18	3	Throughout	Water supply main work		
19	3	Basement	Water heater inspection	Work completed.	1992
25	4	Basement	Outside air to furnace		
26	4	Throughout	Clean & rehab heating system		
27	4	Throughout	Weather-stripping		
28	4	Throughout	Replace lighting fixtures		
29	4	Throughout	Plumbing fixture & piping work	Remove rusted and clogged plumbing.	
30	4	Library, North Elevation	Accessible entrance to mansion		

Hollywood Heritage Inc.									
Wattles Mansion and Gardens Historic Structures Report Update May 2009									
ARG Item #	ARG Priority								
<u>No.</u>	<u>Priority</u>		<u>Description</u>			<u>Status</u>		<u>Date</u>	<u>Cost</u>
5	Garden		Prune tree in service yard						
7	Garden		Remove hillside deadwood						
11	Garden		Perimeter drainage						
14	Garden		Terraced Garden irrigation						
20	Garden		Rose bed, paving & drain work						
21	Garden		Rose Garden irrigation						
22	Garden		Rose Garden pruning & clearing						
23	Garden		Terraced Garden paving & drain work						
24	Garden		Terraced Garden parasitic plant treatment						
31	Garden		Accessible entrance to rose garden						
32	Garden		Rose Garden hardscape repair						
33	Garden		Reflecting pool rehabilitation						
34	Garden		Rose Garden electrical work						
35	Garden		Rose Garden lighting						
36	Garden		Rose Garden planning restoration						
37	Garden		Terraced Garden hardscape repair						
38	Garden		Fountain renovation						
39	Garden		Terraced Garden electrical work						
40	Garden		Terraced Garden lighting rehabilitation						
41	Garden		Drainage work at Great Lawn						
42	Garden		Great Lawn irrigation system						
43	Garden		Paving repair work						
44	Garden		Hillside irrigation system						
45	Garden		Rose Garden site furnishings						
46	Garden		Terraced Garden planting restoration						
47	Garden		Terraced Garden site furnishing						
48	Garden		Great Lawn, Driveway & Perimeter						
49	Garden		Planting Restoration						
50	Garden		Hillside & west side plating restoration						

(See Wattles Estate and Garden Cultural Landscape Report)

CYCLICAL MAINTENANCE PROCEDURES (1992 HSR)

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

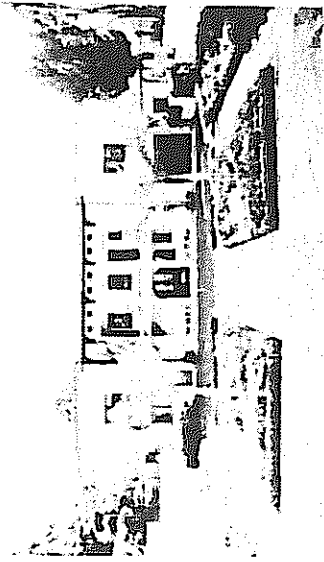
HISTORIC RESOURCES GROUP

CYCLICAL MAINTENANCE SCHEDULE

The primary objective of cyclical maintenance of a historic building is to preserve the historic fabric as long as possible. Materials are constantly subjected to changing environmental conditions, often with detrimental effects. Regularly scheduled maintenance is instrumental in slowing or abating the decay process.

Maintenance is a continual process that can be described by three types of task categories: routine, periodic and special tasks. Routine tasks, performed on a frequent basis such as weekly or monthly, are the first measure in preventing deterioration and may provide the first indication of a potential problem. Periodic tasks occur less frequently, ranging from once a quarter to once every five years; the frequency is dependent on various factors and conditions. Special tasks are determined as necessary based on the observations made during the performance of routine and periodic maintenance procedures.

It is important that restoration or rehabilitation not be considered a final product. Maintenance should be performed in conjunction with the restoration and/or rehabilitation process. Maintenance after restoration or rehabilitation will help assure



Wattles Mansion North Elevation.

that extreme measures or remedies will not be required in the future.

- Dust and clean interior woodwork including bases, trim and wainscots.

- Inspect wood beams, both interior and exterior for deterioration.

The Maintenance Schedule for the Wattles Mansion presented below provides an outline of routine and periodic maintenance to facilitate planning and coordination of maintenance tasks.

- Inspect electrical fixtures, and hardware for loose or broken elements.

The following tasks should be performed weekly:

The following tasks should be performed semi-annually:

- General housekeeping of both the interior and exterior of the mansion, terraces and lawns adjacent to the buildings, including such general cleaning as sweeping, mopping, vacuuming and dusting. Remove all stains and smudges promptly from porous materials.

- Inspect and clean gutters and gutter covers.
- Inspect the building perimeter for plant growth.
- Inspect iron and steel elements for oxidation.
- Inspect stucco for loose areas.
- Clean glazing.

The following tasks should be performed monthly:

- Dust Library, Living Room and Dining Room ceilings.
- Inspect plumbing fixtures for proper operation and evidence of leaking.

- Remove leaves and debris from grills, areaways, drainage pits and ditches.

- Inspect balcony and roof drains and clear any debris.

The following tasks should be performed annually:

- Inspect terraces for loose tile pavers, missing mortar or cracked steps.

The following tasks should be performed quarterly:

- Dust and clean windows and doors including frames and sills.
- Inspect tile roofs for loose, broken or missing tiles.
- Inspect built-up roofs for failure of toppings, leaks, and loose or missing flashings.

- Inspect interior and exterior for flaking paint.
- Inspect exterior lighting and wiring.
- Inspect building façades for cracks and rust stains.

The following tasks should be performed at least every two years:

- Inspect wood elements for rot or termite damage.
- Inspect painted and varnished surfaces.

The following tasks should be performed at least every five years:

- Inspect copper surfaces, flashings etc., and seams.
- Inspect glazing compound.

In most cases, tasks can be performed by the staff of Hollywood Heritage, Inc. Occasionally, the complexity or specialization of tasks may warrant professional guidance. After performance of any of the scheduled or special tasks, preventive or corrective measures should be taken immediately for deteriorated conditions. Maintenance procedures for some specific elements are noted in the Appendix. Special inspections should be performed after any seismic activity, major storms or incidents of vandalism.

Maintenance Logs are recommended to organize maintenance efforts and to record specific actions taken. The Maintenance Log will furnish a basis for treatment evaluation and assure that tasks are being completed on schedule, in accordance with the Maintenance Plan. The Maintenance Log also provides a means of recording and commenting on unforeseen maintenance problems which may be observed by the maintenance staff.

Periodically, the Maintenance Plan should be reviewed and updated. It may be necessary to amend the Maintenance Plan to respond to several issues such as:

- inadequate staffing or funds for performance of all maintenance items;
- ineffective treatments;
- new or more pressing problems uncovered during routine maintenance;
- development of new and better treatments.

Separate Maintenance Logs should be developed for each type of maintenance (weekly tasks, monthly tasks, etc.) and should identify specific locations, elements, materials, the date and type of treatment used. A sample log follows in the Appendix.

WATKINS MANSION

Historic Structures Report

MAINTENANCE PROCEDURES

The frequencies listed below are intended as general guidelines for review of building conditions. Circumstances and events may warrant specific or more frequent assessment of conditions.

ELEMENT MATERIAL	TREATMENT	FREQUENCY
<i>Light Well & Areaway Plaster, painted; Concrete</i>	<ul style="list-style-type: none"> Sweep; Keep free of debris. Wash down using non-ionic detergent, natural fiber brushes and garden hose or pressure washer not exceeding 500 psi; Verify that drains are in working order; Clean out if required. Inspect for cracking of slab or plaster wall and for spalling or staining of plaster; Repair as required*; Touch-up paint <ul style="list-style-type: none"> remove all loose paint by scraping. wash down entire area to be painted with a stiff natural fiber brush, and solution of TSP in hot water (2 lb. TSP per 5 gal. of water); Rinse thoroughly. allow to dry and re-paint using vapor permeable paint system with finish coat matched to existing color. 	Monthly Semi-annually
<i>Gutter Lining Sheet metal,</i>	<ul style="list-style-type: none"> Inspect for cracking of slab or plaster wall and for spalling or staining of plaster; Repair as required. 	Every 2 years
	<ul style="list-style-type: none"> Remove any debris; Verify that gutter cover screens and outlet cover screens are in place and functional. Flush out rainwater drainage system, carefully observing surfaces adjacent and below for any evidence of leaks; Repair sheet metal gutters and screens as required.* In conjunction with clay tile roof inspections and repair, inspect all sheet metal surfaces and seams for damage or deterioration; Repair or patch as required.* 	Quarterly Annually Every 5 years

*Treatment may require the expertise of an outside consultant or contractor.

WATTLES MASONRY and GARDENS
Historic Structures Report

Landscaping Miscellaneous		Quarterly	Annually
<ul style="list-style-type: none"> Police for plant growth which is damaging exterior finishes, for roots which are damaging paving and for sprinkler heads which are spraying on the building. Routine landscape maintenance, planting and pruning should be accomplished by appropriate City staff, landscaping contractor or Hollywood Heritage, Inc. personnel. Verify that tree tie-backs are secure and are not damaging building finishes; Prune as required.* Routine landscape maintenance, planting and pruning should be accomplished by appropriate City staff, landscaping contractor or Hollywood Heritage, Inc. personnel. 			
Leader (concealed) Sheet metal, unpainted		Quarterly	Annually
<ul style="list-style-type: none"> Inspect during rain, for signs of leakage on adjacent surfaces inside and outside building, or backup of system. Flush out rainwater drainage system, observing adjacent surfaces inside and outside building for any evidence of leaks; Investigate and repair immediately.* 			
Leader (exposed) Sheet metal, painted		Quarterly	
<ul style="list-style-type: none"> Inspect during rain, for signs of leakage on adjacent surfaces inside and outside building, or backup of system. 			

<ul style="list-style-type: none"> Flush out rainwater drainage system, observing adjacent surfaces inside and outside building for any evidence of leaks; Investigate and repair immediately.* Inspect for deterioration of paint finish, rust or corrosion; Touch up paint. <ul style="list-style-type: none"> Remove surface soiling with water and mild detergent. Remove all loose paint by scraping. Remove all corrosion by wire brushing or sanding. After wire brushing and scraping remove all dust and grit. Also clean areas in close proximity to surfaces to be coated to prevent windblown debris from contaminating the work. Re-paint within three hours of scraping using an alkyd based paint matched to the existing. 	Annually
Steps	
Concrete	Weekly
<ul style="list-style-type: none"> Sweep Police for cracks or chipping; Repair.* 	Every 2 years
Exterior Windows, Doors and Frames Transparent wood finish	
<ul style="list-style-type: none"> Dust using a treated cloth, or vacuum using a round soft, long bristled dusting attachment; Spot clean smudges and mars with a damp sponge, using non-ionic detergent. After dusting, damp clean frame, using sponge and a non-ionic detergent. 	Monthly
	Every 2 years

*Treatment may require the expertise of an outside consultant or contractor.
Maintenance Procedures - Page 2

WATTLES MANOR and GARDENS

Historic Structures Report

<ul style="list-style-type: none"> • Inspect for deterioration of finish; Touch up finish. <ul style="list-style-type: none"> -- Remove surface soiling with water and mild detergent, if oil or wax remains on surface dissolve 4 oz. of TSP in 1 Gal. of hot water and clean using solution on a small area at a time. When surface has dried thoroughly, wash small areas in succession with denatured alcohol. Use clean cloths for drying surface prior to application of new finish. Remove any remaining wax deposits with steel wool and mineral spirits. -- Remove all loose varnish and sand areas to be recoated using fine grit sandpaper. -- Test varnish to be used in small inconspicuous area for compatibility with the existing finish. -- Coat with exterior varnish; Finish to match existing. 	Every 5 years
<p>Interior Base, Doors, Windows and Trim Painted wood</p>	
<ul style="list-style-type: none"> • Dust all horizontal surfaces using a treated cloth, or vacuum using a soft, long bristled dusting attachment; Spot clean smudges and mars with a clean, damp sponge, using non-ionic detergent and blend into surrounding unwashed surface. 	Monthly
<ul style="list-style-type: none"> • Wash using damp sponges and a non-ionic detergent; Inspect for deterioration of finish. 	Annually
<ul style="list-style-type: none"> • Remove deteriorated finish; Fill in chipped or damaged areas if required. • Touch up paint. <ul style="list-style-type: none"> -- Remove surface soiling with water and mild detergent. -- Dull glossy surfaces to be painted by sanding with medium fine sandpaper. • After sanding remove all dust and grit, clean areas in close proximity to surfaces to be coated to prevent windblown debris from contaminating the work. -- Repaint using coating to match existing. 	Every 2 years.

<ul style="list-style-type: none"> • Sand and repaint. 	As needed
<p>Interior Doors, Windows, Frames, Paneling and Trim Transparent wood finish</p>	
<ul style="list-style-type: none"> • Dust using a treated cloth or vacuum using a soft, long bristled dusting attachment; Wash glass. 	Monthly
<ul style="list-style-type: none"> • Dust then damp clean woodwork using a sponge and a non-ionic detergent. • Check glazing for broken glass. 	Annually
<ul style="list-style-type: none"> • Inspect for deterioration of finish; Touch up deteriorated finish. <ul style="list-style-type: none"> -- Remove surface soiling with water and mild detergent. If oil or wax remains on surface, dissolve 4 oz. of TSP in 1 gal. of hot water and clean using solution on one small area at a time. When surface has dried thoroughly, wash small areas in succession with denatured alcohol. Use clean cloths for drying surface prior to application of new finish. Remove any remaining wax deposits with steel wool and mineral spirits. -- Remove all loose varnish and sand areas to be recoated using fine grit sandpaper. -- Test varnish to be used in a small area for compatibility with the existing finish. -- Coat with varnish to match existing. • Refinish to match existing. 	Every 2 years
<p>Ceiling Painted canvas</p>	
<ul style="list-style-type: none"> • Dust with a soft, long-bristled (horsehair) brush. • Inspect for detachment from plaster and loose or sagging areas. 	Quarterly
<ul style="list-style-type: none"> • Reattach loose areas with glue appropriate for the canvas and compatible with the plaster.* 	Annually
	As needed

*Treatment may require the expertise of an outside consultant or contractor.

WATTLES MANSION and GARDENS

Historic Structures Report

Interior Floors		
Wood		
<ul style="list-style-type: none"> Dust using a treated cloth. Inspect for excessive wear and deterioration of floor finish. Adjust circulation patterns if possible to prevent excessive wear of floor areas. Refinish floors if finish becomes too worn. 	<p>Weekly</p> <p>Annually</p> <p>As needed</p>	
Light Fixtures		
Miscellaneous		
<ul style="list-style-type: none"> Dust using a treated cloth or vacuum using a soft, long bristled dusting attachment. Wash glass globes. Inspect for loose or damaged wiring, controls and/or fittings. Replace defective bulbs. Repair damaged equipment.* 	<p>Monthly</p> <p>Annually</p> <p>As needed.</p>	
Garden		
Miscellaneous		
<ul style="list-style-type: none"> Inspect planing materials, paving and structures. Prune, fertilize and water plant materials according to type of planting. Replace or repair damaged paving and repair structures to correct deterioration that threatens safety of persons or structures.* 	<p>Annually</p> <p>As needed</p> <p>As needed</p>	
HVAC		
Miscellaneous		
<ul style="list-style-type: none"> Inspect for proper operation. Replace filters, worn parts and deficient equipment as needed for safe operation and efficient of equipment.* 	<p>Annually</p> <p>As needed</p>	

Subsurface Drainage		
Terra cotta, PVC		
<ul style="list-style-type: none"> Inspect for proper drainage of lines. Clear debris from grates and grills and keep area clear. Replace damaged lines and clear clogged lines that prevent proper flow of drainage.* 	<p>Annually</p> <p>Monthly</p> <p>As needed</p>	
Railing		
Wrought/cast iron or steel, painted		
<ul style="list-style-type: none"> Inspect for loosening of attachment to building; Resecure loose attachments. Inspect for loose attachment, deterioration of paint finish, or corrosion; Resecure loose attachments; Touch up paint. <ul style="list-style-type: none"> Remove surface soiling with water and mild detergent. Remove all loose paint by scraping. Remove all corrosion by wire brushing or sanding. After wire brushing and scraping remove all dust and grit. Also clean areas in close proximity to surfaces to be coated to prevent windblown debris from contaminating the work. Repaint within three hours of scraping using an alkyd zinc phosphate or zinc oxide primer on bare metal followed by two top coats of compatible alkyd based paint matched to existing color. Wire brush and repaint.* 	<p>Quarterly</p> <p>Annually</p> <p>As Needed</p>	
Paving		
Brick		
<ul style="list-style-type: none"> Sweep; Keep all drainage grates free of debris. Inspect for movement due to subsurface root systems; Replace bricks if required with units matched in color texture and size to existing.* 	<p>Monthly</p> <p>Semi-annually</p>	

*Treatment may require the expertise of an outside consultant or contractor.

WATTLES MAINTENANCE AND GARDENS

Historic Structures Report

Paving Concrete	<ul style="list-style-type: none"> Sweep; Keep all drainage grates free of debris. Wash down using proprietary concrete cleaner. 	Monthly Every 2 years
Roof Built-up roofing	<ul style="list-style-type: none"> Sweep, clearing drainage outlets. Collect and remove all debris. Inspect for any failure of roofing finish indicated by delamination of membrane plies or bubbling; Inspect particularly at vertical junctions and at penetrations for equipment and supports; Repair roofing as required.* Reroof.* 	Monthly Annually
Roof Clay tile	<ul style="list-style-type: none"> Police for debris and loose or broken tiles; Remove any debris which poses a safety hazard or is visible from the ground; Repair tile.* Inspect entire roof; resecure loose tiles; Remove and replace broken tiles; Inspect ridge for mortar deterioration; Replace mortar with mortar matched to existing.* 	As needed Semi-annually Every 5 years
Exterior Walls Cement, plaster, stucco	<ul style="list-style-type: none"> Inspect for cracks or rust stains, indicating water infiltration to reinforcing; Investigate and repair as required.* 	Annually

<ul style="list-style-type: none"> Touch-up paint. <ul style="list-style-type: none"> Remove all loose paint and algae deposits by scraping with wood or plastic hand tools. Wash down entire area to be painted with stiff natural fiber brush, and solution of TSP in hot water (2 lb TSP to 5 gal. water); Rinse thoroughly. Allow surface to dry and repaint using acrylic latex paint. Repaint. 	Every 2 years
Ceiling, Decorative Beams Wood	Every 10 years
<ul style="list-style-type: none"> Dust, using a treated mop taking care not to damage finish. Inspect for rot or termite damage and treat as required. Protect during painting of adjacent ceiling; Do not paint.* 	Semi-annually Every 2 years
Ceiling Plaster, painted	
<ul style="list-style-type: none"> Dust, using a vacuum or treated mop. After dusting as above, spot clean smudges and mars with a clean, damp sponge, using a non-ionic detergent, and blend into surrounding unwashed areas; Inspect for cracks, repair as required; Touch up paint.* After cleaning, paint, frequency of painting will depend on effectiveness of spot cleaning, which in turn depends on types of stains and spots. 	Annually Every 2 years As Needed
Floor Ceramic Tile	
<ul style="list-style-type: none"> Sweep, using a treated dust mop; Remove stains or smudges using a damp sponge and non-ionic detergent. 	Weekly

*Treatment may require the expertise of an outside consultant or contractor.

WATTLES MAISON and GARDENS

Historic Structures Report

<ul style="list-style-type: none"> Mop, using non-abrasive proprietary cleaner for use on ceramic tile. Remove sticky material using a plastic putty knife and clean residue with solvent. Inspect for grout deterioration and/or cracked or missing tiles; Repair as required matching color and texture of existing materials.* 	Monthly
<ul style="list-style-type: none"> Inspect for grout deterioration and/or cracked or missing tiles; Repair as required matching color and texture of existing materials.* 	Annually
Floor	
Concrete, sealed or coated	
<ul style="list-style-type: none"> Vacuum or dry mop using a treated mop. Wet mop, using a non-ionic detergent. 	Monthly
	Annually
Floor linoleum	
<ul style="list-style-type: none"> Sweep, using a treated dust mop; Avoid excessive wetting which may cause burlap backing to rot unless wetting is necessary to remove stains or smudges; Use a damp sponge and non-ionic detergent; Carefully remove sticky material using plastic putty knife and remove remaining residue with mineral spirits. After cleaning apply protective wax finish formulated for use on linoleum floor. Remove and re-apply wax formulated for use on linoleum floor. 	Weekly
	Semi-annually
	Every 2 years
Plumbing Fixtures	
Vitreous china, porcelain, cast iron, brass fittings	
<ul style="list-style-type: none"> Wash, using proprietary disinfectants and non-abrasive cleaners; do not use abrasive cleaners Inspect for proper working of all parts, and for leaks; Repair or replace parts as required, using rehabilitated "period" fittings or suitable reproductions.* 	Weekly
	Annually

Wall	
Ceramic tile	
<ul style="list-style-type: none"> Wash, using sponges and non-abrasive proprietary cleaner for use on ceramic tile. Inspect for grout deterioration and/or cracked or missing tiles; repair as required matching color and texture of existing materials.* 	Monthly
	Annually
Wall	
Plaster, painted	
<ul style="list-style-type: none"> Dust, using a vacuum or treated mop; Spot clean smudges and mars with a clean, damp sponge, using a non-ionic detergent, and blend into surrounding unwashed surface. After cleaning, inspect for cracks and stains indicating water infiltration from internal drains or from exterior; Repair as required.* Paint walls; Frequency of painting will be determined by use of space.* 	Quarterly
	Every 2 years
	As Needed

*Treatment may require the expertise of an outside consultant or contractor.

WATTLES MANSION and GARDENS

Historic Structures Report

Monthly Maintenance Log

For the Period of ___/___/___ through ___/___/___

ELEMENT	LOCATION	ACTION TAKEN/BY	DATE
Floors			
Plumbing Fixtures			
Light Well			
Areaway			
Ext. Windows			
Exterior Doors			
Int. Woodwork			
Paving-Brick			
Paving-Concrete			
Built-up Roof			
Walls-Ceramic			
Miscellaneous			
Additional Notes:			

WATTLES MAINTENANCE and GARDENS
 Historic Structures Report

Quarterly Maintenance Log

For the Period of ___/___/___ through ___/___/___

ELEMENT	LOCATION	ACTION TAKEN/BY	DATE
Gutters			
Leader-Concealed			
Leader-Exposed			
Landscaping			
Miscellaneous			
Additional Notes:			

WATTLES MAINTENANCE and GARDENS
Historic Structures Report

Semi-annual Maintenance Log

For the Period of ___/___/___ through ___/___/___

ELEMENT	LOCATION	ACTION TAKEN/BY	DATE																
Gutters																			
Leader-Concealed																			
Leader-Exposed																			
Landscaping																			
Miscellaneous																			
Additional Notes:																			

Appendix A – Keyed Floorplans

Appendix B – Historic Photographs

Appendix C - Applicable NPS Technical Briefs

Appendix D - Selected List of Public and Non-Profit Users through 2009

Appendix E - Contemplated Projects

Appendix F – Special Studies

- SEISMIC

- PAINT, MORTAR, STUCCO

- PAINT

- ASBESTOS

- BOLTING

-TERMITE AND PEST CONTROL ESTIMATES

WATTLES MANSION and GARDENS "Jualita"

Historic Structures Report

North Elevation

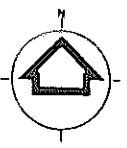
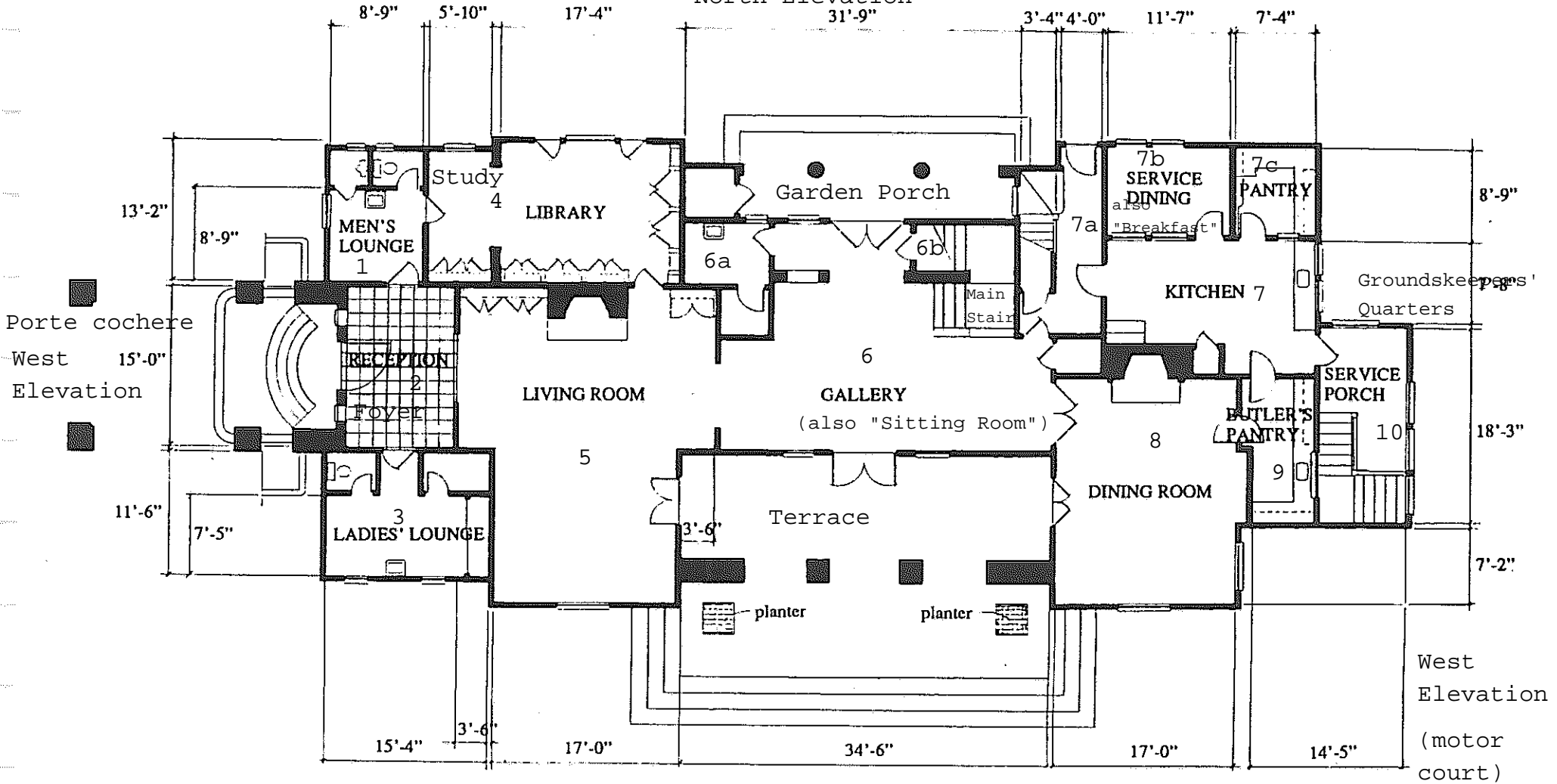


Figure 1: FIRST FLOOR PLAN

WATTLES MANSION and GARDENS
 Historic Structures Report

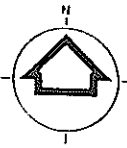
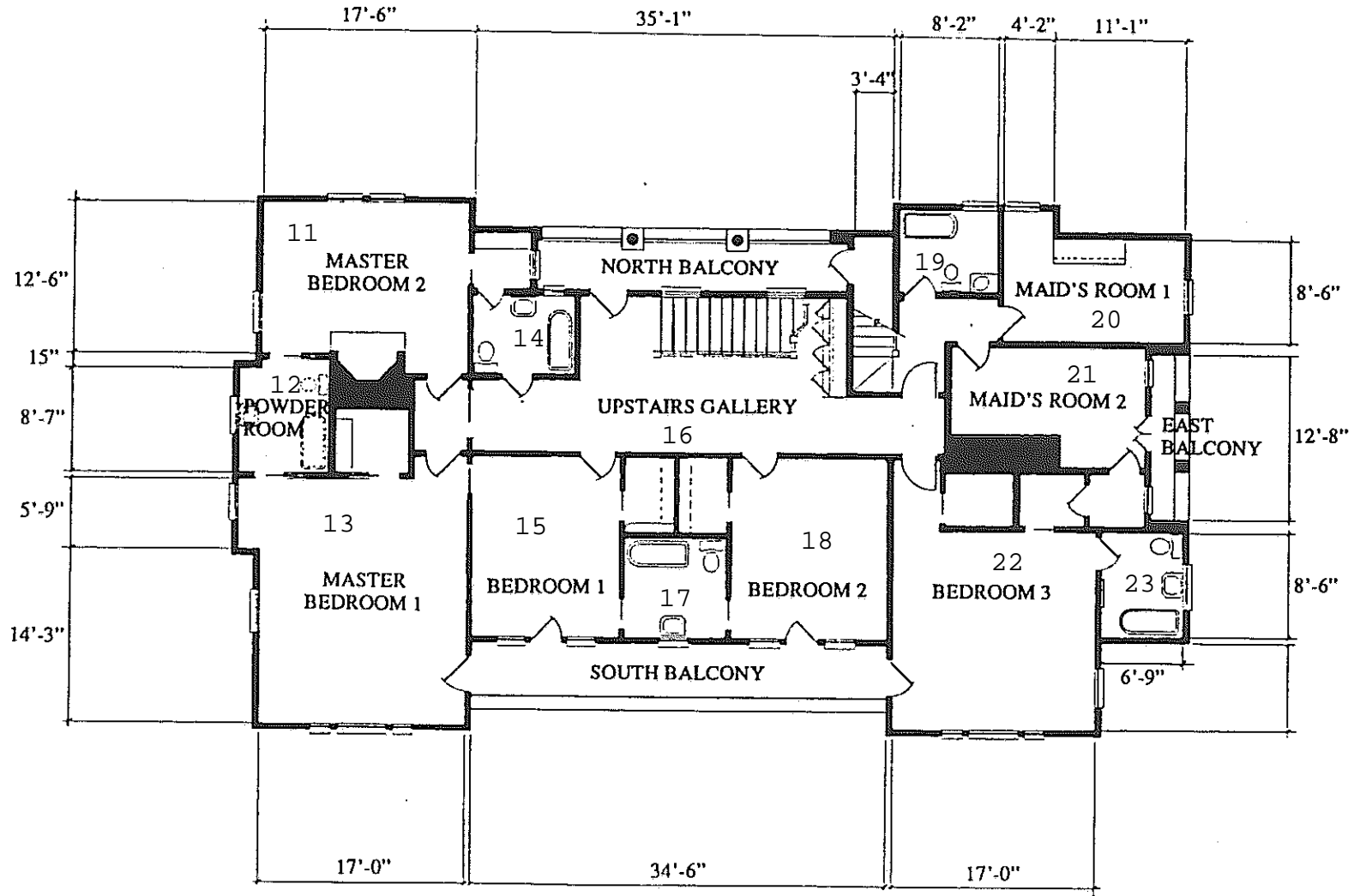


Figure 2: SECOND FLOOR PLAN

WATTLES MANSION and GARDENS
Historic Structures Report

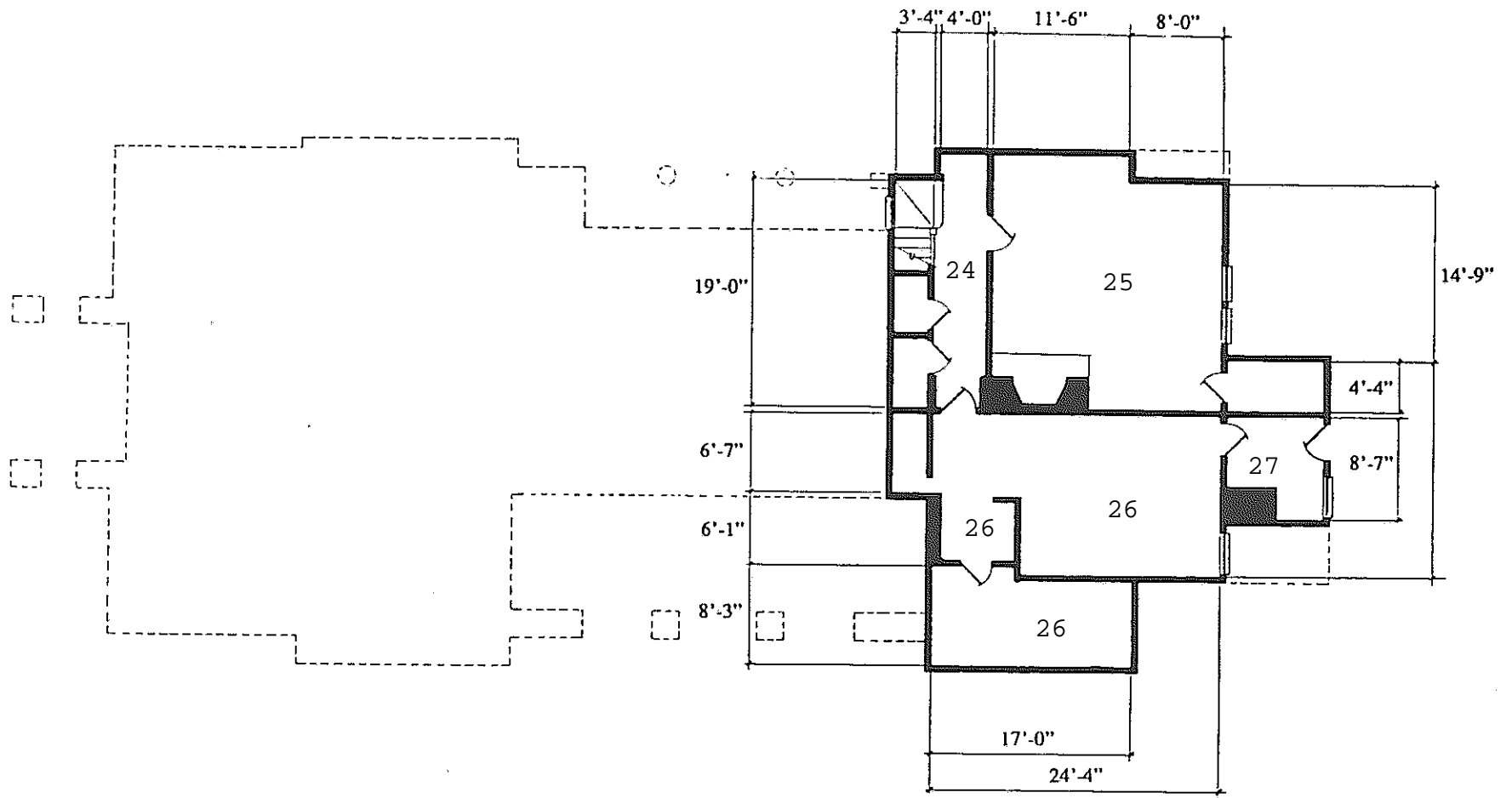
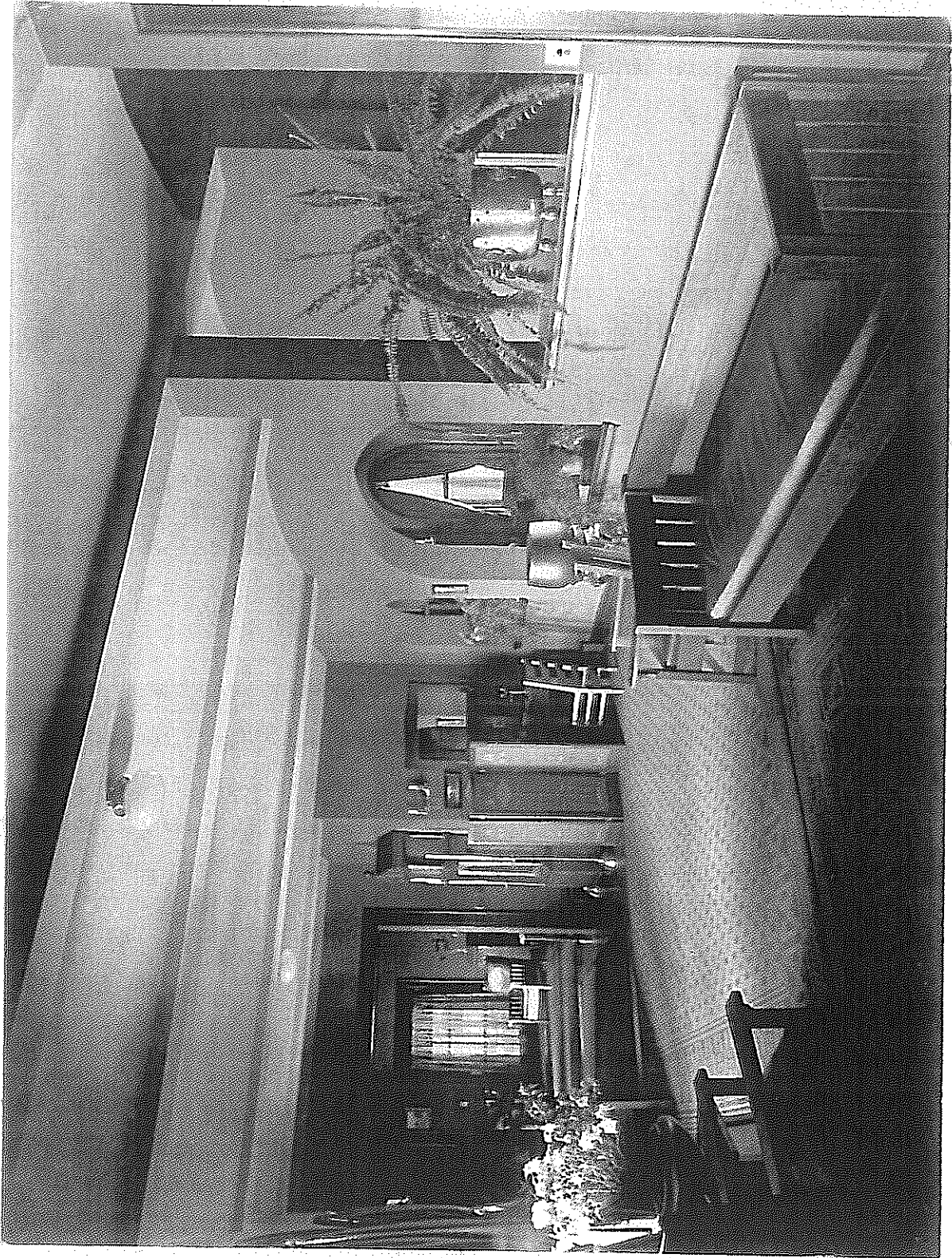
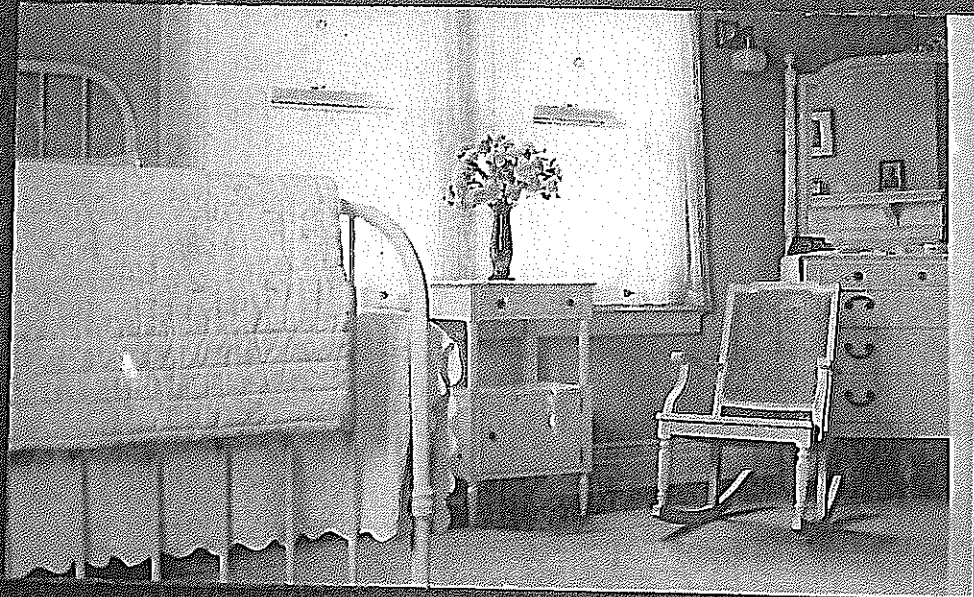


Figure 3: PARTIAL BASEMENT PLAN









HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

Appendix C

Related Preservation Briefs and Preservation Technical Notes

Preservation Briefs provide guidance on preserving, rehabilitating and restoring historic buildings. Please note that the web versions of the *Preservation Briefs* differ somewhat from the printed versions. Many illustrations are new, captions are simplified, illustrations are typically in color rather than black and white, and some complex charts have been omitted.

[01: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings](#)

[03: Conserving Energy in Historic Buildings](#)

[04: Roofing for Historic Buildings](#)

[06: Dangers of Abrasive Cleaning to Historic Buildings](#)

[09: The Repair of Historic Wooden Windows](#)

[10: Exterior Paint Problems on Historic Woodwork](#)

[15: Preservation of Historic Concrete](#)

[16: The Use of Substitute Materials on Historic Building Exteriors](#)

[17: Architectural Character - Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character](#)

[18: Rehabilitating Interiors in Historic Buildings - Identifying Character-Defining Elements](#)

[21: Repairing Historic Flat Plaster - Walls and Ceilings](#)

[22: The Preservation and Repair of Historic Stucco](#)

[23: Preserving Historic Ornamental Plaster](#)

[24: Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches](#)

[28: Painting Historic Interiors](#)

[30: The Preservation and Repair of Historic Clay Tile Roofs](#)

[31: Mothballing Historic Buildings](#)

[32: Making Historic Properties Accessible](#)

[34: Applied Decoration for Historic Interiors: Preserving Historic **Composition Ornament**](#)

[35: Understanding Old Buildings: The Process of Architectural **Investigation**](#)

[36: Protecting **Cultural Landscapes**: Planning, Treatment and Management of Historic Landscapes](#)

[37: Appropriate Methods of Reducing **Lead-Paint Hazards** in Historic Housing](#)

[38: Removing **Graffiti from Historic Masonry**](#)

[39: Holding the Line: Controlling Unwanted **Moisture** in Historic Buildings](#)

[40: Preserving Historic **Ceramic Tile** Floors](#)

[41: The **Seismic Retrofit** of Historic Buildings: Keeping Preservation in the Forefront](#)

[43: The Preparation and Use of **Historic Structure Reports**](#)

The *Preservation Tech Notes* provide practical information on traditional practices and innovative techniques for successfully maintaining and preserving cultural resources. Please note that the web versions of the *Preservation Tech Notes* differ somewhat from the printed versions. Many illustrations are new, captions are simplified, illustrations are typically in color rather than black and white, and some complex charts have been omitted.

Exterior Woodwork

[Protecting Woodwork Against Decay Using Borate Preservatives](#)

Masonry

[Non-destructive Evaluation Techniques for Masonry Construction](#)

Museum Collections

[Reducing Visible and Ultraviolet Light Damage to Interior Wood Finishes](#)

Temporary Protection

[Specifying Temporary Protection of Historic Interiors During Construction and Repair](#)

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

WATTLES RENTAL LIST

THE FOLLOWING PUBLIC AGENCIES AND NON-PROFIT COMMUNITY GROUPS AND ASSOCIATIONS HAVE UTILIZED THE WATTLES FACILITIES SINCE THE INITIATION OF RESTORATION ACTIVITIES BY HOLLYWOOD HERITAGE, INC.:

- 1 - Actors And Actresses Coming Together.
- 2 - Aids Project Los Angeles.
- 3 - Artists Against Apartheid.
- 4 - California Artists Human Services.
- 5 - California Department Of Mental Health.
- 6 - California Museum Of Ancient Art.
- 7 - California Preservation Foundation.
- 8 - California Theatre Council.
- 9 - Childrens Film And T.V. Center.
- 10- City Of Los Angeles, Department Of Parks And Recreation.
- 11- Comision Fenenil de L.A.
- 12- Community Redevelopment Association.
- 13- Election Voting Location.
- 14- Gay Men's Chorus.
- 15- Hollywood Arts Council.
- 16- Hollywood Chorale.
- 17- Hollywood Home Owners Association.
- 18- Hollywood Master Chorale.
- 19- Housing For Entertainment Professionals.
- 20- International Documentary Association.
- 21- Lafayette Players West.
- 22- Los Angeles Area Dance Alliance.
- 23- Los Angeles Community College District, Instructional Services.
- 24- Los Angeles Conservancy, Issues Committee.
- 25- Los Angeles Film And Video Cooperative.
- 26- Los Angeles Junior Chamber Of Commerce.
- 27- Los Angeles Library Association.
- 28- Los Angeles Opera Association.
- 29- Los Angeles Theatre Alliance.
- 30- Para Los Ninos.
- 31- Screen Actors Guild Professional Staff Association.
- 32- State Of California, State Office Of Historic Preservation.
- 33- The American Film Institute.
- 34- The Art Deco Society Of Los Angeles
- 35- The Interior Design Society, Los Angeles Chapter.
- 36- U.C.L.A. Graduate School Of Architecture.
- 37- U.C.L.A. Extention Landscape Architecture Student Association.
- 38- Wilshire/Hollywood Realtors Association.

HISTORIC STRUCTURE REPORT (UPDATED JUNE 2009)

Wattles Mansion

HISTORIC RESOURCES GROUP

Wattles Mansion Contemplated Projects

The following is a brief summary of ongoing maintenance and rehabilitation issues identified by Hollywood Heritage, Inc. through May 2009. Cost estimates are for general information, based on proposals by contractors. These projects have not been prioritized but reflect ongoing maintenance and deterioration issues identified in previous reports.

<u>House/ Gardens</u>	<u>Description</u>	<u>Estimated Cost</u>
House	Termite and Beetle tenting and gassing	25,000
House	Interior fire sprinkler system	22,000
House	Refinish wood floors	15,000
House	Repair and/or replace copper gutters	15,000
House	Install alarm system	6,000
House	Repair kitchen tile	4,000
House	Repair and repaint enclosed service porch	2,350
House	Repair glass in doors off front yard	500
House	Reface kitchen sink	400
House	Refinish windows next to doors off front yard	400
House	Repair wood in hall outside kitchen leading upstairs	250
House	Repair toilet seat in front bathroom	100
TOTAL HOUSE		\$91,000
Gardens	Repair and restore railings and balusters in Formal and Rose Gardens	125,000
Gardens	Install lights on driveway and parking lot	35,000
Gardens	Repair and upgrade original garden lighting system	30,000
Gardens	Replant Formal Spanish and Italian rose Gardens, per historic landscape architect	18,000
Gardens	Clean, repair and upgrade original drainage system	15,000
Gardens	Replace missing Spanish tiles on garden walls	12,000
Gardens	Install new irrigation system in Formal Garden	11,000
Gardens	Install new irrigation system in Rose Garden	9,000
TOTAL GARDENS		\$255,000
TOTAL		\$346,000

- SEISMIC
- PAINT, MORTAR, STUCCO
- PAINT
- ASBESTOS
- BOLTING
- TERMITE AND PEST CONTROL ESTIMATES

WATTLES MANSION
Seismic Structural Evaluation
September 18, 1992

INTRODUCTION

This report presents the results of our site visits, visual inspection, and preliminary seismic evaluation of the Wattles Mansion. We understand that the mansion is now undergoing repairs for historical structures restoration and preservation. We have reviewed the reports and drawings prepared by Architectural Resources Group for a better understanding of the background and condition of the mansion. Our initial site visit was made on March 12, 1992, for developing the scope of our services. Subsequent site observations have been made for the exploration of the existing building construction and condition for analysis and evaluation.

SCOPE

The scope of services provided for this investigation included:

- a) Field visits to determine the existing building construction and condition
- b) Preparation of preliminary lateral analysis for the existing building based on the 1988 Uniform Building Code with the City of Los Angeles, 1990 Amendments.
- c) Identification of any structural deficiencies based on our field observation and preliminary analysis.
- d) Preparation of this report, presenting our findings, conclusion and recommendations.

BUILDING DESCRIPTION

The existing mansion is a two-story building of approximately 80 feet by 46 feet in plan dimensions with a one-story service porch addition on the east side and a one-story reception/lounge and porte cochere addition on the west side. The one-story service porch

WATTLES MANSION

1182 N. Curson Avenue, Hollywood, California

SEISMIC STRUCTURAL EVALUATION REPORT

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P.O. Box 2506, 1824 N. Curson, Hollywood, CA 90078

ARCHITECTURAL RESOURCES GROUP
Pier Nine, The Embarcadero, San Francisco, CA 94111

Prepared by:
JOHNSON & NIELSEN ASSOCIATES
7467 N. Figueroa Street, Los Angeles, CA 90041

Project No.: L92-27
Date: September 18, 1992

JN JOHNSON & NIELSEN ASSOCIATES CONSULTING STRUCTURAL ENGINEERS

JN JOHNSON & NIELSEN ASSOCIATES CONSULTING STRUCTURAL ENGINEERS

is approximately 8 feet by 20 feet in plan dimensions; the reception/lounge is approximately 16 feet by 40 feet in plan dimensions; and the porte cochere is approximately 20 feet by 20 feet in plan dimensions. A partial basement of approximately 30 feet by 40 feet in plan dimensions is located at the east end of the building. A separate cottage of approximately 17 feet by 26 feet in plan dimensions is located east of the basement above grade. Based on the research report prepared by Architectural Resources Group, the mansion was built in 1907 and the additions were constructed in 1921 and later in the 1920s. It is uncertain which building code, if any, was governing the construction of the mansion especially for regulations which were applicable to the earthquake design. The structural systems of the existing mansion are as follows:

1. VERTICAL LOAD-CARRYING SYSTEM

ROOF

The roof consists of composition roofing materials and is generally flat with minor slopes for diverting water to roof drains. The perimeter mansard roof which completely surrounds the perimeter of the roof, both main roof and the low roof at the one-story addition, consists of "Spanish Mission" clay tile. The typical framing of the existing flat roof consists of one inch thick diagonal sheathing supported by 2 inches by 8 inches roof rafters spaced at 16 inches center to center (the existing mansard tile roof is framed with one inch thick sheathing supported by 2x rafters).

The ceiling below the main roof (second floor ceiling) consists of 2 inches by 10 inches ceiling joists spaced at 16 inches center to center for supporting the plaster ceiling finishes. The attic space found between the roof and the ceiling framing is approximately 3 feet in height. Both roof rafters and ceiling joists are supported by interior walls, perimeter walls, and posts and beams spanning over openings. The

mansard roof is supported by perimeter walls, wood brackets projecting out from the perimeter walls and on the flat roof rafters. Restoration drawings prepared by Architectural Resources Group indicated that a plywood sheathing of unknown thickness and nailing have been added over the existing roof sheathing prior to the installation of the new built-up roof.

SECOND FLOOR

The second floor is covered with hardwood floor on the top and plaster ceiling at the underside at its entirety. Since investigative demolition was not performed on the second floor, the actual floor framing system cannot be verified. Based on our past experience on buildings of this type and age, the floor construction probably consists of one inch thick diagonal sheathing supported on 2x floor joists spaced at 16 inches center to center. We estimated the size of the floor joists could be 2 inches by 12 inches or 2 inches by 14 inches. These floor joists are then supported by the perimeter walls, interior bearing walls, and posts and beams spanning over openings or clear space below. The existing interior walls layout have indicated that some of the second floor framing are also used to support the bearing walls which is carrying the roof.

FIRST FLOOR

The first floor is much similar to the construction of the second floor. The floor is also covered with hardwood floor on top. The floor framing consists of a one inch diagonal sheathing supported by 2 inches by 12 inches floor joists spaced 16 inches center to center. These floor joists are then supported by the perimeter foundation walls, basement walls, and interior wood beams spanning between concrete piers which are spaced at approximately 10 feet apart. There is no plaster finish at the

underside of the floor framing within the crawl space. However, plaster finish remains present at the ceiling area over the basement.

WALLS

The exterior wall construction for both stories consists of wood stud walls with plaster finish on wood lath applied to the interior and the exterior of the wall. These walls are used both as bearing or nonbearing wall. The bearing walls are used for carrying the second and/or roof framings above. The interior walls which may be bearing or nonbearing consist of wood studs with plaster finishes on wood lath applied on both sides of the walls. The walls for the basement located on the east end of the mansion are constructed of concrete with unknown reinforcement.

FOUNDATION

The foundation walls supporting the first floor framing and the perimeter walls consist of concrete stem wall with unknown reinforcement. These walls are most likely supported on a continuous concrete footing. The interior piers which functioned as supports for the interior wood beams are constructed of concrete with unknown reinforcement. Footings for the support of the basement are most probably constructed of continuous concrete footing.

2. LATERAL LOAD-CARRYING SYSTEM

DIAPHRAGM

The existing diagonal sheathing, the new plywood roof sheathing, and the second floor diagonal sheathing served as horizontal deep beams to transfer the wind or seismic loads, thereafter referred to as lateral loads, to the shear walls.

SHEAR WALLS

The existing plaster stud walls, whether exterior or interior as described earlier, can be considered as the shear walls to resist the diaphragm forces generated from the lateral loads. Only those walls which demonstrated a continuous load path of transferring the lateral loads from the roof and/or the floor to the walls and to foundation walls are considered as shear walls. Adequate connection between components within the shear wall load path must be maintained in order to be effective.

PHYSICAL CONDITION OF THE BUILDING

The mansion was visited on September 8, 1992 to visually observe the condition of the building. It appears that the new composition roof has been installed on the flat roof with the assumption that the new plywood roof sheathing has also been added in accordance with the drawings prepared by Architectural Resources Group. Reinstallation of the mission tiles onto the mansard roof is also in progress. Looking through the roof attic access opening, the wood appears dry and free of deterioration and the roof structure appears in good condition.

Since the second floor structure is completely concealed by the hardwood floor and by the plaster ceiling, we are uncertain of the condition of the second floor structure. Other than minor cracks that can be seen from the ceiling, the first floor ceiling is generally in good condition which indicates the second floor structure would probably be in sound condition. During our first visit, Mr. Steve Sylvester, the mansion's caretaker, pointed out a bulging ceiling condition near the north-east corner of the first floor dining room. Unfortunately, the closet space which is located directly above the area cannot be reached for inspection due to the fact that the sliding door of the closet is glued shut to the door frame by the

newly applied paint finish. Mr. Sylvester has indicated that the closet was loaded with heavy bookcases during the past. We suspected that the plaster ceiling is separated from the second floor framing which is caused by the rebound of the floor after the removal of the bookcases.

Entering into the crawl space below the first floor through a wall opening located below the stair to the basement for inspection, the framing of the first floor appears in good condition, and there is no sign of deterioration present. Anchor bolts connection between the first floor framing to the foundation appears missing. However, 1/4 inch thick by 2 1/2 inches wide plate straps can be seen tying the foundation wall to the floor framings in the direction normal to the foundation wall and spaced at 48 inches center to center. One end of these plate straps is embedded into the foundation wall with unknown depth and configuration. The other end is nailed to the floor member with two nails or one nail, in some instances, despite the fact that the straps were prepared with minimum of four nail holes.

For the first floor framing over the basement, heavy deterioration and damage from dry rot and insects are detected at the framings adjacent to the east basement wall below the east wall of the service porch. Heavy deterioration can also be seen at the base of the concrete basement wall located below the separation wall between the butler's pantry and the service porch. Powdery concrete can be scraped off from this wall simply by your finger nails. Similar to the first floor framing over the crawl space, the anchor bolts connection of the sill plate to the wall and the tie connectors for tying the floor normal to the wall are missing. For the remainder of the framing over the basement, the condition of the framing cannot be evaluated unless further exploratory demolition of the plaster ceiling is performed.

SEISMIC ANALYSIS

A preliminary seismic structural analysis has been made using the current static design force requirement of the 1988 Uniform Building Code with the City of Los Angeles, 1990 Amendments for new buildings. For information and comparison, the current code requires the design force level at 18.3%G versus force level of 10%G for code requirements as old as forty years ago. As discussed earlier, it is uncertain as to what level of seismic force, if required at all, was necessary for the original design of the mansion. However, using 10%G as the basis appears reasonable for comparison. Table No. 88-H (see attachment A - reprinted from current City of Los Angeles Building Code) is used as the limiting capacity values for existing configuration of materials.

As a result of the preliminary seismic analysis, our findings are as follows:

1. The existing roof and floor diaphragms appear adequate for transferring the seismic load to the shear walls.

2. Refer to the key diagram (Attachment B) where most of the second story shear walls are overstressed. See the following table for location and level of overstress:

Wall Lines	% Overstress
2	18.3%G
	27%
3	275%
4	100%
5 & 6 combined	50%
A, B, & C combined	120%
C & F combined	175%
	10.0%G

3. Refer to the key diagram (Attachment B) where most of the first story shear walls are overstressed. See the following table for location and level of overstress:

Wall Lines	% Overstress	100%G
2	150%	40%
3	400%	175%
4	400%	175%
5 & 6 combined	25%	-
A, B & C combined	200%	70%
F & G combined	65%	-

CONCLUSIONS AND RECOMMENDATIONS

SUMMARY OF FINDINGS

On the basis of our evaluation and analysis, it is our opinion that the existing mansion should be able to withstand seismic loads imposed by a minor to moderate level of earthquake without collapse. At the current status, it may experience substantial structural and non-structural damage. If the structural deficiencies listed above are properly mitigated, the building should be able to withstand seismic loads imposed by a moderate to a major level of earthquake motion without collapse. However, the building may still experience non-structural damage and minor structural damage.

SEISMIC UPGRADING

In order to upgrade the building to meet the 1988 UBC seismic force level, the structural deficiencies as found from our analysis can be mitigated by the following recommendations:

1. Strengthen existing shear walls by removing the plaster finish and replacing it with plywood shear panel, and/or provide additional new plywood shear walls. In either case, all designated shear walls must provide a continuous load path (with adequate connection between different components) from the roof to the foundation. Add holddown anchors as required from upper story wall to the lower story wall and from the wall to the foundation.
2. Provide proper anchorage for transferring shear between the walls/first floor framing to the foundation wall and basement wall. Drilled epoxy bolting of the sill plate or pre-manufactured shear plate (Simpson FA foundation anchors) may be used.

4. Inadequate shear transfer is found in the shear walls connected to the foundation walls or basement walls due to the missing shear anchor bolts.

5. Due to the discontinuance of plaster finishes within the roof attic space, shear transfer from the roof to the second story shear walls is found inadequate.
6. It is unlikely that adequate diaphragm ties are provided at the reentrant corners of the roof and the second floor due to "H" configuration of the diaphragm. Diaphragm tearing often occurs at such location without adequate ties.

7. The out-of-plane lateral ties from the top of the basement walls to the first floor diaphragm are missing. Resistance for such lateral load is found inadequate.

3. Provide additional nailing to the existing plate straps tying the first floor joists to the foundation walls.
4. Provide diaphragm lateral ties across the diaphragm reentrant corners by adding straps connected to the floor framings on both sides of the corner.
5. Provide adequate tension anchors between the first floor rafters and the basement wall. Provide also additional blockings, nailings, and connectors between members as required to dissipate the wall out-of-plane forces into the diaphragm.
6. Provide adequate anchorage for tying the chimney to the roof diaphragm. Provide additional blockings, nailings, and connectors between members as required to dissipate the chimney out-of-plane forces into the diaphragm.

OTHER REPAIRS

1. Repair any deteriorated framings by removing all damaged framings and replace it with new ones.
2. Repair any concrete wall which is damaged by weather or moisture by chipping away loose concrete until sound concrete is reached and repouring it with new concrete which is doweled into the existing concrete. Provide temporary shoring for the structure supported by such wall if required.
3. Further investigative demolition must be made to the bulging ceiling above the dining room for determining the actual damage. Strengthen or replace any damaged framing as required.

We wish to clarify that our review is not a guarantee or certification that the original design and construction will have no defects or deficiencies. Our assessment is limited to seismic effects on the structure and does not address other types of forces, existing connection detailing, or the effects of earthquakes on the contents of the building or business interruption.

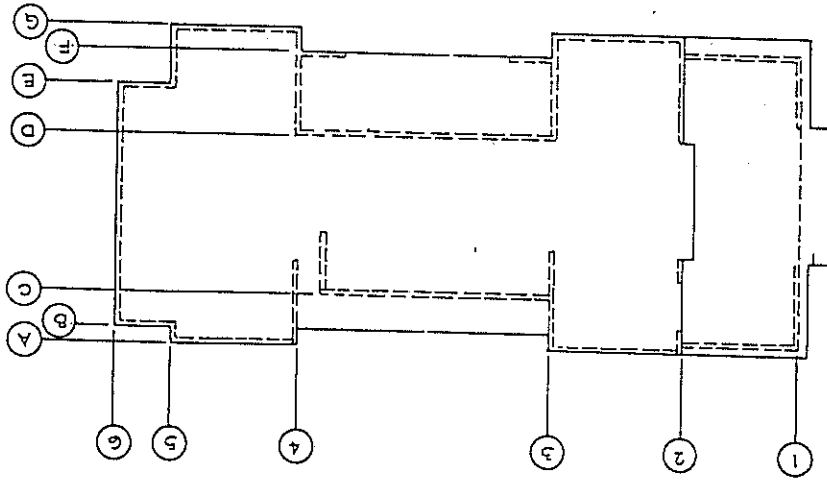
TABLE NO. 88-H
VALUES FOR EXISTING MATERIALS

EXISTING MATERIALS OR CONFIGURATION OF MATERIALS ¹	ALLOWABLE VALUES
1. HORIZONTAL DIAPHRAGMS a. Roofs with straight sheathing and roofing applied directly to the sheathing. b. Roofs with diagonal sheathing and roofing applied directly to the sheathing. c. Floors with straight tongue-and-groove sheathing. d. Floors with straight sheathing and finished wood flooring. e. Floors with diagonal sheathing and finished wood flooring. f. Floors or roofs with straight sheathing and plaster applied to the joist or values for items 1 (a) and 1 (c) rafter. ²	100 lbs. per foot for seismic shear. 400 lbs. per foot for seismic shear 150 lbs. per foot for seismic shear. 300 lbs. per foot for seismic shear. 450 lbs. per foot for seismic shear. Add 30 lbs. per foot to the allowable values for items 1 (a) and 1 (c).
2. SHEAR WALLS Wood stud walls with lath and plaster	100 lbs. per foot each side for seismic shear.
3. PLAIN CONCRETE FOOTINGS	$f' = 1,500$ psi unless otherwise shown by tests.
4. DOUGLAS FIR WOOD	Allowable stress same as No. 1 D.F. ³
5. REINFORCING STEEL	$f' = 18,000$ lbs. per square inch maximum.
6. STRUCTURAL STEEL	$f' = 20,000$ lbs. per square inch maximum.

¹Material must be sound and in good condition.

²The wood lath and plaster must be reattached to existing joists or rafters in a manner approved by the department.

³Stresses given may be increased for combinations of loads as specified in Section 91.8808 (e) 2.



KEY DIAGRAM

WATTLES MANSION and GARDENS

Historic Structures Report

PAINT, MORTAR AND STUCCO ANALYSIS

METHODOLOGY:

Nine samples, consisting of paint layers and their substrates were collected from the exteriors of the mansion and the caretaker's cottage by ARG for color identification of the original paint layer and analysis of paint strata. The basement ceiling of the mansion was also sampled. The samples were removed using X-acto blade knives. Site work was conducted in August 1991.

In the laboratory the samples were examined under a stereo binocular microscope. The first significant layer was compared to the Fulcolor paint color samples by Fuller O'Brien Paints. The remaining layers were recorded using common color names. This analysis should be considered a preliminary study. Its purpose was to gain a general sense of the original painted surfaces of the structures.

In the following observations the color of the first, or original paint layer is identified of those building elements sampled.

OBSERVATIONS:

The original color of most exterior wood features appears to have been dark brown. There was some variation in color of the brown paint from sample to sample. These variations may have been caused by the different amount of sunlight and general weathering to which each sampled element was exposed. It may also be possible that the original paint was tinted on-site, in which case small color differences would not be unusual. The one exception to the samples with original

brown paint layers was the sample taken from the door frame at the South Balcony which was beige.

The remaining paint layers above the first paint layers were primarily brown or tan with the exception of a light green found on two samples. Two other samples had only a primer and one layer of paint suggesting that these elements had been stripped or scrapped down to the wood substrate in preparation for repainting. Thus, evidence of original paint layers was removed from these samples.

One sample of the exterior stucco coating was taken. The first paint layer on the sample was white. This white coating contained mica flakes which would have produced a glistening effect on the exterior wall surfaces. Use of mica flakes in paint for special effects was not uncommon at the time the mansion was constructed. The mica was also used in coatings and other building products to impart enhanced durability characteristics.

The sample of plaster taken from the basement ceiling had a very dark resinous coating. The coating appears to have been a type of varnish applied as a sealer to the plaster. Some discoloration of clear coatings over time is to be expected; however the very dark color of this coating suggest that some other factor, such as smoke from the coal burning furnace also contributed to the darkening.

WATTLES MANSION and GARDENS

Historic Structures Report

SAMPLE LOCATIONS AND PAINT CHRONOLOGIES

Roof Sheathing at Caretaker's Cottage

White Primer
Brown, Fuller O'Brien Fulcolor (Earthy-Tone) B-132

Off-White
Brown

Bracket at Eaves Near West Office, South Side

Inconclusive.

Window Frame at Dining Room

White Primer
Brown, Fuller O'Brien Fulcolor (Earthy-Tone) B-132
Brown
White Primer
Brown

Rafter a Caretaker's Cottage

White Primer
Brown, Fuller O'Brien Fulcolor (Big Stone) G-128

Basement Ceiling

Window Sill, East side of Dining Room, First Floor

White Primer
Brown, Fuller O'Brien Fulcolor (Big Stone) G-128

Resinous discolored coating

Exterior Stucco, East Side of Arcade

White coating with mica flakes Fuller O'Brien
Fulcolor (Ready Mix color, White Cloud)

Door at Garden Closet at North Portico, west side

White Primer
Brown, Fuller O'Brien Fulcolor (Brownstone) G-134
Tan
Light Green
Off-White
Brown

Tan
Tan

CONCLUSIONS:

Based upon this preliminary analysis, it appears quite likely that exterior wood elements were originally painted brown. The one sample of exterior walls suggests that the stucco was painted with a white paint with mica flakes; however additional sampling would be necessary to confirm this finding.

Door Frame at South Balcony

White Primer
Beige, Fuller O'Brien Fulcolor (Beige) G-76
Light Green

Made by Amy Higgins (323) 874-8415

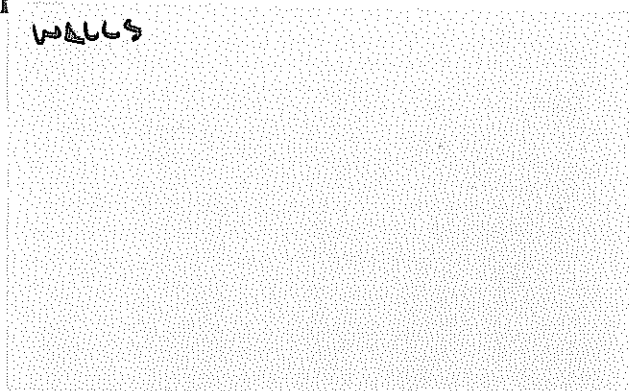
March 30, 2004

Hollywood Heritage
Wattles Mansion
Color Chart

Interior Colors

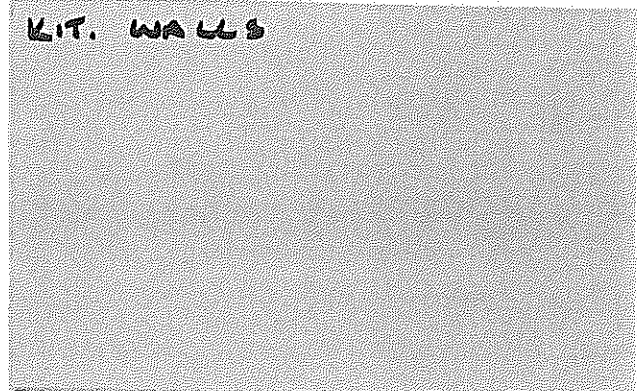
Walls

Wall Color - Abbey Cream (3098, 10YY 60/224
Sinclair, ICI Dulux Paint Co, (323) 465-7161
Aqua Suede, Interior
Eggshell
Base: SA 1798 Tint Base
Formula: 5 gallons
BLK OP 60
YOX 11P36
OXR 1P36



Kitchen Wall Color - Pumpkin 4/26/2000

Dunn Edwards
Decosheen, Acrylic
Eggshell
Base: W 440 Medium Base
Formula: (Label obscured)
x-xxx, 8 - 20.625, 13....



Kitchen Trim Color - Cream 5/8/2000

Dunn Edwards
Syn-Lustro, Oil based
Semi-Gloss
Base: 9-L Base / Van AU
Formula:
2 - 10.5, 7 - 1.25

KIT. TRIM

Kitchen Ceiling Color

Not found.

Kitchen Breakfast Nook Ceiling Color 3/26/2004

Dunn Edwards
Decosheen, Acrylic
Eggshell
Base: W 440 Medium Base
Formula: 4 - 11, 8 - 1, 13 - .5

Do not recommend using again.
Color from original swatches in Randy Van Ausdall file.
Does not match original ceiling.
Original color swatch- Frazee 8240 w Windrift.

cc. STEVE, RANDY, AMY

Made by Amy Higgins (323) 874-8415

March 30, 2004

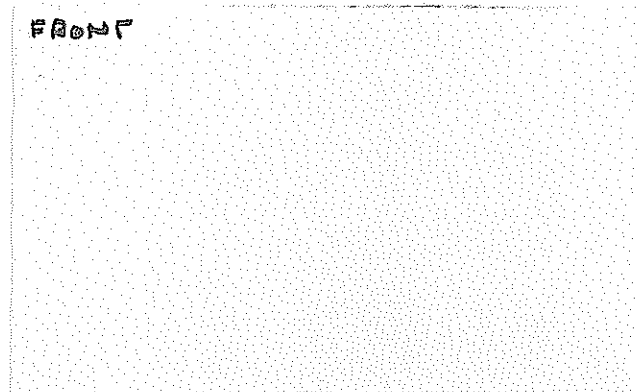
Hollywood Heritage
Wattles Mansion
Color Chart

Exterior Colors

Front of House Sun Bleached Beige Mar/2004

Home Depot	Behr			
Plus 10 Masonry & Stucco (P10MS)				
Base: White No. 270 (270)				
Formula:		oz	48	96
C Yellow Oxide		0	5	0
I Brown Oxide		0	8	1
L Raw Umber		0	40	1

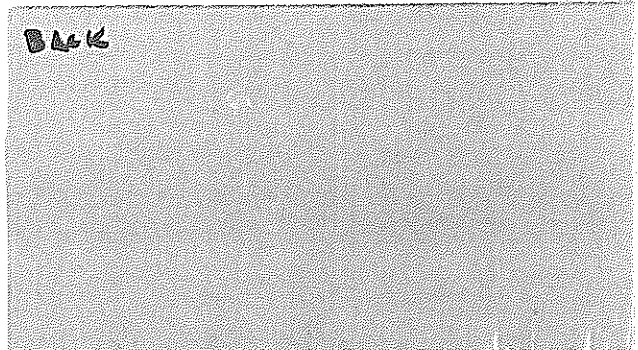
FRONT



Back of House Dark Beige Mar/2004

Home Depot	Behr			
Plus 10 Masonry & Stucco (P10MS)				
Base: White No. 270 (270)				
Formula:		oz	48	96
B Lamp Black		0	30	0
C Yellow Oxide		0	47	0
I Brown Oxide		0	46	1

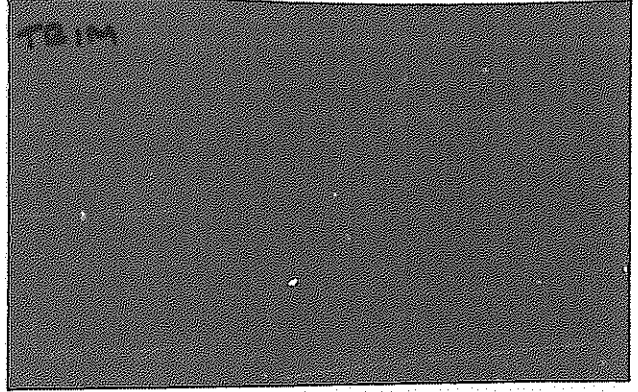
BACK



Exterior Trim Chocolate Brown 3/24/03

Home Depot	Behr			
Exterior Semi-Gloss Enamel (water based)				
Base: Deep Base (5340)				
Formula:		oz	48	96
B Lamp Black		2	12	0
C Yellow Oxide		1	32	0
I Brown Oxide		5	28	0
KX White		1	0	0

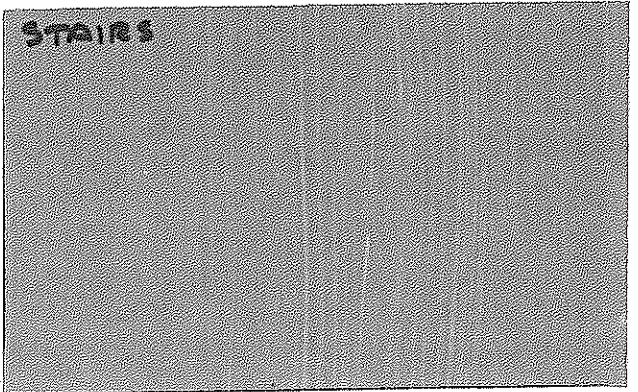
TRIM



Stairs on Back Porch Steel Gray 3/2004

Home Depot	Glidden			
Porch Paint	Satin			
Standard pre mixed				

STAIRS



Fountain Front Beige of House 3-03

(See ~~attached~~ label)

SAME AS Painter's Warehouse, (Highland)
Spectra-Tone
D.P.A. Zaptex, Acrylic Elastomeric
225-00 White - Smooth
Formula: B-3, C-8, I-10, F-2.

Oct. 21, 1986

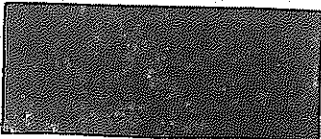
ERIC DAVID ASSOCIATES

WATTLES MANSION AND GARDEN PARK
Preliminary paint analysis

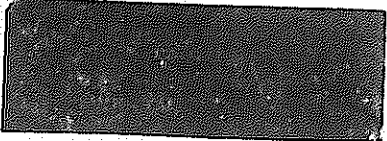
I. Millwork and window casings

four layers of paint were found. The following are listed in order of appearance (first to last) and are represented by modern manufacturers equivalents.

Dunn Edwards #Q15-67U



Sinclair # 1 S 22



Sinclair #177-T

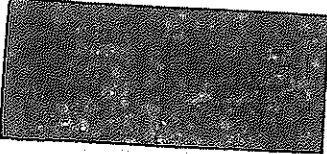
Dunn Edwards # Q 10-55D
(applied in a thin uneven glaze)
Not original



II. Stucco

Two layers of paint were found.

Sinclair # 177-T

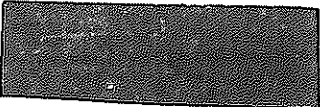


Sinclair #296-T

III. Wrought Iron

One color in 3 layers found

Dunn Edwards # Q15-67U



Originally, all stucco, Scupper spouts and millwork at the front arcade were the same color with the eaves, brackets and all window/door casings in a darker, contrasting color.

SPECIFICATION

SPACE PLANNING

INTERIOR DESIGN

ARCHITECTURAL DESIGN

2237 CAHUENGA BOULEVARD

4 HOLLYWOOD

CALIFORNIA 90068

TELEPHONE 313 461 1702/9762



March 3, 2003

Mr. Stephen Sylvester
Hollywood Heritage, Inc.
Wattles Mansion
1824 N. Curson Ave.
Hollywood, CA 90046
Re: Asbestos Abatement

CONSULTING
DEVELOPMENT
CONSTRUCTION
MANAGEMENT
LIC.# 532139

INVOICE 03107

1.	2,225.00	Final payment for completed asbestos abatement work per January 30, 2003 agreement.
----	----------	---

TOTAL AMOUNT DUE: \$2,225.00

Classic Projects, Inc.
7083 HOLLYWOOD BLVD., #105
HOLLYWOOD, CA 90028

THANK YOU FOR YOUR BUSINESS

**CLASSIC PROJECTS
INCORPORATED**

7083 Hollywood Blvd

Suite 105 - Hollywood

California 90028

Phone 323 . 469 . 9369

Fax 323 . 469 . 6266

www.classicprojects.com



March 11, 2003

Mr. Stephen Sylvester
Hollywood Heritage, Inc.
Wattles Mansion
1824 N. Curson Ave.
Hollywood, CA 90046
Re: HVAC Duct Replacement

CONSULTING
DEVELOPMENT
CONSTRUCTION
MANAGEMENT
LIC.# 532139

INVOICE 03108

1.	2,568.00	<p>Re-duct all & reinsulated supply outlets serving back of the house. Re-duct 8 supply air outlets serving the front of the house. Includes all labor, materials, & applicable sales tax.</p> <p>225' of 8" metalized flex duct. 75' of 10" metalized flex duct. 24' of 10" aluminum flex duct.. 30' of 8" aluminum flex duct. 6' of 12" aluminum flex duct. 7 each 10" 90 degree elbows. 1 each 10" collar. 1 each 10" start collar. 2 each 12" 90 degree elbows. 1 each 12" start collar. 16 each 8" 90 degree elbows. 2 each 8" start collar. 4 rolls duct tape (metalized). 6 rolls 1-1/2" duct strap. 1 roll 11" x 9" x 150'. 1-1/2 rolls of fiberglass wrap.</p> <p>Note: During the asbestos abatement process, it was determined that the existing ducting was too thin (collapsed) to salvage for reuse. We were able to use the plenum because the sheet metal gage was thicker.</p>
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**CLASSIC PROJECTS
INCORPORATED**

7083 Hollywood Blvd
Suite 105 • Hollywood
California 90028
Phone 323.469.9369
Fax 323.469.6266
www.classicprojects.com

TOTAL AMOUNT DUE: \$2,568.00

Classic Projects, Inc.
7083 HOLLYWOOD BLVD., #105
HOLLYWOOD, CA 90028

THANK YOU FOR YOUR BUSINESS

22623980

IN CASE OF EMERGENCY OR SPILL, CALL THE NATIONAL RESPONSE CENTER 1-800-424-8802; WITHIN CALIFORNIA, CALL 1-800-852-7555.

GENERATOR

TRANSPORTER

FACILITY

UNIFORM HAZARDOUS WASTE MANIFEST		1. Generator's US EPA ID No.		Manifest Document No.		2. Page 1 of 1		Information in the shaded areas is not required by Federal law.					
3. Generator's Name and Mailing Address MILLER, JAMES 12345 GARDEN AVE. MILPITAS, CA 95035						A. State Manifest Document Number 22623980							
4. Generator's Phone (214) 354-8000						B. State Generator's ID							
5. Transporter 1 Company Name EAST COAST LOGGING UNIT			6. US EPA ID Number 01A10010101010101010			C. State Transporter's ID (Reserved)							
7. Transporter 2 Company Name E.C.T.I.						8. US EPA ID Number 01A10010101010101010							
9. Designated Facility Name and Site Address MILLER, JAMES RECLAMATION 12345 GARDEN STREET MILPITAS, CA 95035						10. US EPA ID Number 01A10010101010101010							
11. US DOT Description (including Proper Shipping Name, Hazard Class, and ID Number)						12. Containers No. Type		13. Total Quantity		14. Unit Wt/Val		15. Waste Number	
a. FRIABLE ASBESTOS, 4, PA 2014, Pn III						2		Y		Y		State 151	
b.												EPA/Other 151	
c.												State	
d.												EPA/Other	
J. Additional Descriptions for Materials Listed Above FRIABLE ASBESTOS CONTAINING WASTE (ERG#171)						K. Handling Codes for Wastes Listed Above a. b. c. d.							
15. Special Handling Instructions and Additional Information SECTION 1A NEED IMMEDIATE PROTECTIVE RULE 1403 ASBESTOS NOTIFICATIONS (607) 301-1905													
16. GENERATOR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by proper shipping name and are classified, packed, marked, and labeled, and are in all respects in proper condition for transport by highway according to applicable international and national government regulations. If I am a large quantity generator, I certify that I have a program in place to reduce the volume and toxicity of waste generated to the degree I have determined to be economically practicable and that I have selected the practicable method of treatment, storage, or disposal currently available to me which minimizes the present and future threat to human health and the environment; OR, if I am a small quantity generator, I have made a good faith effort to minimize my waste generation and select the best waste management method that is available to me and that I can afford.													
Printed/Typed Name				Signature				Month		Day		Year	
17. Transporter 1 Acknowledgement of Receipt of Materials				Signature				Month		Day		Year	
18. Transporter 2 Acknowledgement of Receipt of Materials				Signature				Month		Day		Year	
19. Discrepancy Indication Space													
20. Facility Owner or Operator Certification of receipt of hazardous materials covered by this manifest except as noted in Item 19.													
Printed/Typed Name				Signature				Month		Day		Year	

DO NOT WRITE BELOW THIS LINE.

CERTIFICATE of COMPLETION

This is to certify that the Asbestos abatement project has been completed at:
1824 N. Curson Ave., Hollywood, CA 90046

Scope of Work:

Remove insulation from hot water pipes in attic and basement. HEPA vacuum debris pile at attic entrance. Remove ducts from attic and basement. Strip return air box in basement. Encapsulate, fog mist and monitor air.

Date: March 4, 2003

P. Sell
Company Representative

P.W. STEPHENS, INC.

Job Name: Wattles

Job Number: OR-028510

IN CASE OF EMERGENCY OR SPILL, CALL THE NATIONAL RESPONSE CENTER 1-800-424-8802; WITHIN CALIFORNIA, CALL 1-800-852-7550

UNIFORM HAZARDOUS WASTE MANIFEST		1. Generator's US EPA ID No. CA1D981400518NB980		Manifest Document No. NB980		2. Page 1 of 1		Information in the shaded areas is not required by Federal law.									
3. Generator's Name and Mailing Address WATTLES MANISON 1024 N. CURSON AVE. HOLLYWOOD, CA 90046 4. Generator's Phone (213) 874-4005						A. State Manifest Document Number 22623980											
5. Transporter 1 Company Name P.W. STEPHENS, INC. 15201 PIPELINE LANE UNIT B HUNTINGTON BEACH, CA 92646						B. State Generator's ID											
6. US EPA ID Number CA1610000508115						C. State Transporter's ID [Reserved.]											
7. Transporter 2 Company Name E.C.T.I.						D. Transporter's Phone (714) 897-2028											
8. US EPA ID Number CA1610000491064						E. State Transporter's ID [Reserved.]											
9. Designated Facility Name and Site Address AZUSA LAND RECLAMATION 1201 WEST GLADSTONE STREET AZUSA, CA 91702						F. Transporter's Phone (800) 664-7773											
10. US EPA ID Number CA1D10090076126						G. State Facility's ID CA1D10090076126											
11. US DOT Description (including Proper Shipping Name, Hazard Class, and ID Number)						12. Containers		13. Total		14. Unit		15. Waste Number					
a. RO ASBESTOS, 9, NA 2212 PG 111						No. Type 0415 ^B A		Quantity 003.5		Wi/Vol Y		State 151 EPA/Other N/A					
b.												State EPA/Other					
c.												State EPA/Other					
d.												State EPA/Other					
J. Additional Descriptions for Materials Listed Above FRIABLE ASBESTOS CONTAINING WASTE (ERG#171)						K. Handling Codes for Wastes Listed Above a. 03 b. c. d.											
15. Special Handling Instructions and Additional Information E.C.T.I. 963 W. REECE ST. SAN BERNARDINO, CA 92411 (800) 664-7773						E.P.A REGION IX WEAR APPROPRIATE PROTECTIVE CLOTHING AND RESPIRATORS 24-HOUR EMERGENCY NUMBER (800) 535-5053						SCALMD RULE 1403 ASBESTOS NOTIFICATIONS P.O. BOX 4950 DIAMOND BAR, CA 91765 (909) 396-2336					
16. GENERATOR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by proper shipping name and are classified, packed, marked, and labeled, and are in all respects in proper condition for transport by highway according to applicable international and national government regulations. If I am a large quantity generator, I certify that I have a program in place to reduce the volume and toxicity of waste generated to the degree I have determined to be economically practicable and that I have selected the practicable method of treatment, storage, or disposal currently available to me which minimizes the present and future threat to human health and the environment; OR, if I am a small quantity generator, I have made a good faith effort to minimize my waste generation and select the best waste management method that is available to me and that I can afford.																	
Printed/Typed Name Frank Mendel				Signature Frank Mendel				Month 02		Day 27		Year 92					
17. Transporter 1 Acknowledgement of Receipt of Materials																	
Printed/Typed Name FRANCISCO MENDEL				Signature Francisco Mendel				Month 02		Day 27		Year 92					
18. Transporter 2 Acknowledgement of Receipt of Materials																	
Printed/Typed Name [Signature]				Signature [Signature]				Month 03		Day 07		Year 92					
19. Discrepancy Indication Space																	
20. Facility Owner or Operator Certification of receipt of hazardous materials covered by this manifest except as noted in Item 19.																	
Printed/Typed Name Valinda Demaris				Signature [Signature]				Month 03		Day 07		Year 92					

DO NOT WRITE BELOW THIS LINE.

Yellow: ESDF SENDS THIS COPY TO GENERATOR WITHIN 30 DAYS.
 (Generators who submit hazardous waste for transport out-of-state, produce completed copy of this copy and send to DTSC within 30 days.)



Fax Transmittal

From the desk of: **Randy Van Ausdall**

Date:
7/16/2004

Number of Pages:
1 [Including this page]

Send to fax Number: **1-323-465-5993**

To: **Steve Sylvester/Kay Thornborg
& Board**

Cc.: **040716 Fax Wattles**

Re.: **Seismic Work**

Urgent For Review Please Comment Please Reply

CONSULTING
DEVELOPMENT
CONSTRUCTION
MANAGEMENT
LIC.# 532139

NOTES:

Hi Steve & Kay-

Thank you very much for sending us the deposit for the seismic retrofit work. We are working with our schedule to establish an exact start date. It looks as if we will be able to start the work on Wednesday, July 21. I will keep you posted early next week.

We will need basement access from the rear parking area. This will minimize any inconvenience to you.

Thanks again for letting us help you in preserving a part of Hollywood History.

Thank you, Randy

**CLASSIC PROJECTS
INCORPORATED**

7883 Hollywood Blvd

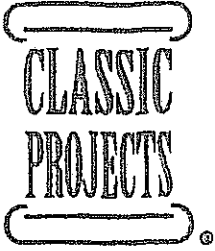
Suite 105 • Hollywood

California 90028

Phone 323.469.9369

Fax 323.469.6266

www.classicprojects.com



Steve -
copy, FYI

July 2, 2004

Key Tornborg/Fran Offenhauser
Hollywood Heritage, Inc.
Wattle's Mansion
1824 N. Curson Ave.
Hollywood, CA 90028
Re: Seismic Work

INVOICE 04113

CONSULTING
DEVELOPMENT
CONSTRUCTION
MANAGEMENT
LIC.# 532139

1.	\$208.89	Building plan check & grading pre-inspection fees. (6/14/04)
2.	149.85	Building permit fee. (7/01/04)
3.	782.00	Permit processing time & expenses.

TOTAL AMOUNT DUE: \$1,140.64

Classic Projects, Inc.
7083 HOLLYWOOD BLVD., #105
HOLLYWOOD, CA 90028

THANK YOU FOR YOUR BUSINESS

#3376
7/8/04
1140.64

**CLASSIC PROJECTS
INCORPORATED**

7083 Hollywood Blvd
Suite 105 • Hollywood
California 90028
Phone 323.469.9369
Fax 323.469.6266
www.classicprojects.com



July 9, 2004

Hollywood Heritage, Inc.
Wattles Mansion
1824 N. Curson Ave.
Hollywood, CA 90046

PROPOSAL FOR SEISMIC UPGRADE OF FOUNDATION ANCHOR BOLTING & CRIPPLE WALL BRACING

Pursuant to our periodic field discussions over the past few years regarding the volunteer seismic upgrade of foundation anchor bolting & cripple wall bracing needing attention at the Wattles Mansion, 1824 N. Curson Avenue, Hollywood, CA 90046, we have developed the costs to improve the site as follows:

CONSULTING
DEVELOPMENT
CONSTRUCTION
MANAGEMENT
LIC.# 532139

1.	\$14,844.00	Seismic Anchor Bolting & Cripple Wall Bracing. 1. Retrofit foundation as per approved plans (7/1/04), engineered by Philip Ashmalleh, S.E. L.A. Building Permit #04016-10000-11240. 2. Attach existing sub-floor & sole plate to existing concrete foundation using approved materials. 3. Install approximately 100 hold down applications. Install T straps or A35's on each post to girder (not shown on plans). 4. Includes deputy inspector for structural observations. 5. Clean up and haul away misc. debris. 6. Not included. New pressure treated sole plates, stucco, paint, new foundations, or restoration to basement rooms.
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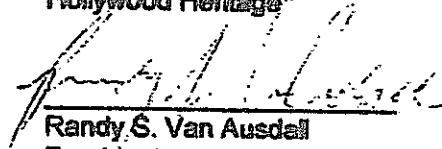
TOTAL INVESTMENT: To improve the site as described above in a professional manner is \$14,844.00.

PAYMENT SCHEDULE: \$7,422.00 initial payment. The balance is due upon completion.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature:  Date: July 11, 2004

Stephen Sylvester
Executive Director
Hollywood Heritage

Signature:  Date: July 9, 2004

Randy S. Van Ausdall
President
Classic Projects

**CLASSIC PROJECTS
INCORPORATED**

7083 Hollywood Blvd

Suite 105 • Hollywood

California 90028

Phone 323.469.9369

Fax 323.469.6266

www.classicprojects.com

HOLLYWOOD HERITAGE, INC.
WATTLES ACCOUNT
1824 N. CURSON AVE.
HOLLYWOOD, CA 90046

90-8489/3222

3381

DATE 7/11/04

Classic Projects
even thousand four hundred twenty-two

\$ 7422.00

DOLLARS

ORNIA
AL BANK
LYWOOD BLVD.
OD, CA 90028

Ray Jones

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SAFE GUARD SECURE
SAFE GUARD SECURE

FACE OF THIS DOCUMENT CONTAINS A MICRO-PRINT SIGNATURE LINE AND HEAT-SENSITIVE INK. ABSENCE OF THESE FEATURES WILL INDICATE A COPY.



Work Agreement

Property Address: 1824 N. Curson Ave Los Angeles 90046 Project Manager Lance Jones
 Purchaser: Steve Sylvester Date: 05/07/2008 Report #: 62324

Standard Warranty

Warranty start from the date of Completion and is limited as follows: Dream Treatment has a one (1) calendar year warranty; any NEW or RECURRING termite infestation(s) noted during the warranty period will be re-treated at no additional cost to the Purchaser if deemed necessary by both Dream Makers and the Purchaser. Fumigation has a one (1) calendar year warranty for area(s) noted on the Report and treated. See the Dream Shield Protection Plan for its' applicable warranty. Otherwise item(s) noted on the Report treated and/or Repaired have a one (1) calendar year warranty to the areas only.

Included

Dream Shield Protection Plan (Premium Upgrade -optional)

This is a full structure warranty for both Drywood termites and Subterranean termites (Reticulitermes spp., Heterotermes spp.) on the above mentioned property for two (2) calendar years from the date of completion. Any NEW or RECURRING termite infestation(s) noted during the warranty period will be treated at no additional cost to the Purchaser. This warranty also includes a spray application of borates to accessible unpainted wood at probable entry point(s) within the structure.

Lifetime Warranty (optional)

Annual extension fee, see page 2 for details, to commence at end of above selected term and must be purchased prior to end of selected warranty. Lifetime Warranty is not eligible for no-cost fumigation. Therefore, if fumigation is recommended additional costs will apply. Warranty limited to area(s) noted and treated on Report.

No Warranty (please initial to decline a warranty)

Treatment Options

Subterranean Termites

Chemically treat the soil at probable termite entry points for control of Subterranean Termites. This may include: rodding or trenching the foundation walls, pier-posts, and/or plumbing pipes in the substructure area and/or exterior foundation. It may be necessary to touch slabs, brick or stone veneer below grade level, or treat voids in foundation walls. Shelter tubes (if present) will be removed from accessible areas.

\$1,050.00

Drywood Termites

Dream Treatment - Nest Elimination Technology (Patent Pending)

We propose to treat the infested drywood termite colony located in inaccessible area(s) with the NEST ELIMINATION TECHNOLOGY. This is accomplished by exposing infested wood members and injecting a Non-Repellent and/or Repellent chemical into the drywood termite galleries using a high-pressure injection system.

Fumigation

Fumigate the structure with lethal gas for the control drywood termite infestation(s). The structure must be vacated until released for re-entry by the licensed fumigator. Purchaser must prepare for the fumigation as per the provided list of instructions.

\$15,300.00

Spot Treatment

Locally treat for the control of drywood termites in accessible area(s). Remove and/or cover drywood termite fecal pellets in accessible area(s). Treatment by method of (circle all that apply): Orange Oil/ XT-2000, Drill-and-inject Foam, Microwave

Dream Makers Termite & Pest Control, Inc., (herein called "Dream Makers") is hereby authorized to treat and/or repair my property for wood destroying pests and organisms as indicated on Wood Destroying Pests and Organisms Inspection Report(s) (herein called the "Report") referenced by the date of inspection and property address. Contract is subject to Managers approval and is valid for 90 days. Any cancellations made less than 48 hours of job date are subject to \$185.00 cancellation fee. I, (herein called "Purchaser"), have read this Agreement including the Mandatory Arbitration and the other terms and conditions on the second page of this Agreement and, hereby agree to all terms thereof.

Total

Deposit (50%)

Balance Due Upon Completion

Purchaser Signature _____ Date _____

Card Type: Visa MC Amex Disc

Card Number _____

Expiration Date _____ CVV2 (security code) _____

TERMS AND CONDITIONS OF AGREEMENT

1. **EXISTING DAMAGE.** Dream Makers is not responsible for the repair of either visible damage or hidden damage existing as of the date of this Agreement with the exception of contracted repairs. Because damage may be present in areas which are inaccessible to a visual inspection, Dream Makers does not guarantee that the damage disclosed on the Wood Destroying Pests and Organisms Report represents all of the existing damage as of the date of this Agreement.

2. **FUTURE DAMAGE, LIMITATIONS OF LIABILITY.** Due to the nature of construction, the extent of existing termite damage, the degree of termite activity and/or application restrictions, the Agreement does not guarantee against, nor shall Dream Makers be responsible for, present or future damage to property or contents, nor provide repairs or compensations hereafter. IN CONSIDERATION OF THE SUMS CHARGED BY DREAM MAKERS HEREUNDER AND AS LIQUIDATED DAMAGE, NOT AS A PENALTY, DREAM MAKERS' SOLE LIABILITY TO THE PURCHASER OR ANYONE CLAIMING THROUGH PURCHASER IS LIMITED TO TREATMENT ONLY AND PURCHASER EXPRESSLY RELEASES DREAM MAKERS FROM AND AGREES TO IMMEDIATELY DREAM MAKERS WITH RESPECT TO ANY OBLIGATION WHATSOEVER TO REPAIR AND/OR PAY FOR ANY DAMAGE.

3. **ADDITIONS, ALTERATIONS.** This Agreement covers the property identified on the Wood Destroying Pests and Organisms Inspection Report as of the date of the Standard Notice of Work Completed and Not Completed. In the event the premises are structurally modified, altered or otherwise changed, Purchaser will notify Dream Makers prior to such addition or alteration and will purchase additional treatment required by the changes incurred. Failure to do so will terminate this Agreement automatically without further notice. In the event of any such change, Dream Makers reserves the right to adjust the annual extension charge. Dream Makers' failure to notice any such changes during future re-inspections or treatments does not release Purchaser from these obligations.

4. **NOTICE OF CLAIMS, WARRANTY, AND ACCESS TO PROPERTY.** Any claim arising out of or relating to this Agreement must be made to Dream Makers during the term of this Agreement. Dream Makers is only obligated to retreat under this Agreement if a valid claim is made during the term of this Agreement. The services selected will determine extent and duration of areas to be re-treated, otherwise the warranty of service is one (1) calendar year from the date of the Standard Notice of Work Completed and Not Completed therein called "date of Completion" for the completed items in the areas only. Purchaser must allow Dream Makers access to the identified property for any purpose contemplated by this Agreement, including but not limited to inspection, treatment, and/or repairs, whether requested by the Purchaser or considered necessary by Dream Makers. If access is not available during scheduled appointments, areas will be serviced according to the terms of the warranty after the completion and final balance paid of the total contracted amount. After two (2) occurrences of rescheduling an inspection and/or re-treatments will void the warranty of this Agreement unless Purchaser chooses to pay \$85.00 per missed appointment to keep warranty in force for the duration of this Agreement.

5. **DISCLAIMER AND EXCLUSIONS.**

A. EXCEPT AS OTHERWISE PROHIBITED BY LAW, DREAM MAKERS DISCLAIMS ANY LIABILITY FOR INDIRECT, SPECIAL, INCIDENTAL, CONSEQUENTIAL, EXEMPLARY, PUNITIVE, STIGMA AND/OR LOSS OF ENJOYMENT DAMAGES. THE WARRANTY IN THIS AGREEMENT IS GIVEN IN LIEU OF ANY OTHER WARRANTY OR OTHER RESPONSIBILITY, EXPRESSED OR IMPLIED, INCLUDING ANY WARRANTY OR MERCHANTABILITY, EXPRESSED OR IMPLIED, OR FITNESS FOR A PARTICULAR PURPOSE.

B. Without limiting the generality of anything else contained herein, this Agreement does not cover the following:

(a) damage resulting from any wood-destroying insects or organisms;

(b) damage resulting from services required for dry rot, plumbing and/or roof leaks and/or moisture conditions including but not limited to fungus damage and/or dry rot and/or water leakage caused by faulty plumbing, roofs, gutters, downspouts and/or poor drainage.

C. Without limiting the generality of anything else contained herein, Dream Makers disclaims any responsibility for damage to any plumbing or heating pipes, wiring, roof tiles, shingles, shakes, plants, shrubs, or other facilities or pets and animals, which shall be the responsibility of Purchaser.

6. **SEVERABILITY / CHANGE IN LAW.** If any provision, requirement or obligation contained in this Agreement is deemed unlawful or unenforceable by any court, the remainder of the Agreement shall remain in full force and effect, as though the unlawful or unenforceable portion were removed. Dream Makers performs its services in accordance with the law. In the event of a change in existing law as it pertains to the services herein, Dream Makers reserves the right to terminate this Agreement.

7. **PAYMENT, NON-PAYMENT AND/OR DEBIT.** Payments made by check and/or credit card may be processed through the Automated Clearing House (ACH) services. In case of non-payment or default by the Purchaser, Dream Makers has the right to terminate this Agreement. Interest at the highest legal rate allowed in California will be assessed to and paid by the Purchaser for the period of delinquency. The Purchaser is responsible for any and all fees associated with collection of payments which may include 3rd Party Collection agencies' fees. No statement on a payment check, from Purchaser or in a letter accompanying a payment check, from Purchaser is binding on Dream Makers, and Dream Makers may negotiate such check without being bound by the conditions of any such statement. If Purchaser pays any amount other than the actual amount due to Dream Makers, receipt or collection of such partial payment does not constitute an accord and satisfaction. Dream Makers may retain any such partial payment, whether restrictively endorsed or otherwise, without prejudice to Dream Makers right to collect the balance properly due.

8. **ENTIRE AGREEMENT.** This signed Agreement, the accepted recommendations within the Wood Destroying Pests and Organisms Inspection Report(s) and the Standard Notice of Work Completed and Not Completed constitute the entire agreement between the parties, and no other representations or statements will be binding upon the parties.

9. **MANDATORY ARBITRATION.** Purchaser and Dream Makers agree that any claim, dispute or controversy ("Claim") between them or against the other or the employees, agents or assigns of the other, and any Claim arising from or relating to this Agreement or the relationships which result from this Agreement, including but not limited to any tort or statutory Claim, shall be resolved by neutral binding arbitration by the National Arbitration Forum ("NAF") under the Code of Procedure ("Code") of the NAF in effect at the time the Claim is filed. Any Arbitration hearing at which the parties appear personally will take place at a location within the United States federal judicial district in which the Purchaser resides. Rules and forms of the NAF may be obtained and all claims shall be filed at any NAF office, www.arb-forum.com or by calling 1-800-474-2371. Each party shall be responsible for paying its own fees, costs, and expenses and the arbitration fees as designated by the Code. However, for a Claim of \$15,000 or less, if the Purchaser so requests in writing, Dream Makers will pay Purchaser's arbitration fees due to the NAF to the extent they exceed any filing fees that the Purchaser would pay to a court with jurisdiction over the Claim. The arbitrator's power to conduct any arbitration proceeding under this arbitration agreement shall be limited to as follows: any arbitration proceeding under this Agreement will not proceed as a class action. The decision of the arbitrator shall be final and binding resolution of the Claim. This arbitration agreement is made pursuant to a transaction involving interstate commerce and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. Judgment upon the award may be entered in any court having jurisdiction. Neither party shall sue the other party with respect to any matter in dispute between the parties other than for enforcement of this arbitration agreement or of the arbitrator's award. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE DISPUTES THROUGH A COURT AND HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY DISPUTES DECIDED THROUGH ARBITRATION.

10. **LIMITED ASSIGNABILITY.** This Agreement is assignable by the Purchaser to a new owner of the property during the warranty period indicated from the effective date of the Standard Notice of Work Completed And Not Completed.

11. **LIFETIME WARRANTY.** This Agreement may be extended annually by payment of an annual extension fee. After the third year and each year thereafter, Dream Makers reserves the right to revise the annual extension fee. In the event the Purchaser fails to pay the full charge for the annual extension fee on or before each annual anniversary of the date of the Standard Notice of Work Completed and Not Completed, this Agreement will terminate automatically as of such anniversary date. Dream Makers will perform an inspection a minimum of once every three years or when requested to do so by the Purchaser. Purchaser agrees to making the premises available as described in section 4 of this Agreement.

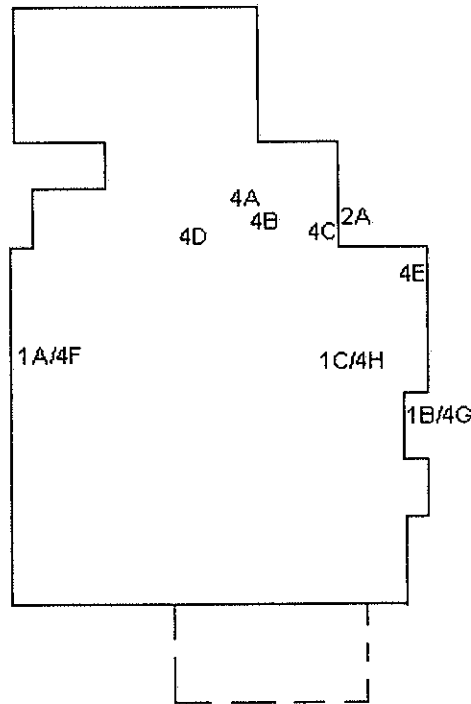
Property Address: 1824 N. Curson Ave Los Angeles 90046

Purchaser initials: _____

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 1824	Street N. CURSON AVE	City LOS ANGELES	Zip 90046	Date of Inspection 5/7/2008	Number of Pages 6
Dream Makers Termite & Pest Control 15230 San Fernando Mission Blvd Ste B101 Mission Hills CA 91345 Tel (888) 544-3279 Fax (888) 200-3619				Report # : 62324 Registration # : PR4223 Escrow # :	
Ordered by: STEVE SYLVESTER HOME 323-874-4005 WATTLES@HOLLYWOODHERITAGE.ORG		Property Owner and/or Party of Interest: STEVE SYLVESTER 1824 N. CURSON AVE Los Angeles CA 90046		Report sent to: STEVE SYLVESTER 1824 N. CURSON AVE LOS ANGELES 90046	
COMPLETE REPORT <input checked="" type="checkbox"/> LIMITED REPORT <input type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
GENERAL DESCRIPTION: TWO STORY WITH BASEMENT, BUSINESS/RESIDENCE, FURNISHED & OCCUPIED, ON A RAISED/COMPOSITION ROOF, AND A TILE ROOF.				Inspection Tag Posted: UNDER KITCHEN SINK Other Tags Posted: NONE NOTED	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input checked="" type="checkbox"/> Drywood Termites <input checked="" type="checkbox"/> Fungus / Dryrot <input type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input type="checkbox"/> If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.					

Diagram Not To Scale



Front

Inspected By: LANCE JONES State License No. FR 40167 Signature: _____

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8188 or www.pestboard.ca.gov. 43M-41 (Rev. 10/01)

Dream Makers Termite & Pest Control

Page 2 of inspection report

1824	N. CURSON AVE	LOS ANGELES	CA	90046
Address of Property Inspected		City	State	Zip
Stamp No.	5/7/08	62324	Escrow No.	
Date of Inspection		Co. Report No.		

WHAT IS A WOOD DESTROYING PEST & ORGANISM INSPECTION REPORT? READ THIS DOCUMENT. IT EXPLAINS THE SCOPE AND LIMITATIONS OF A STRUCTURAL PEST CONTROL INSPECTION AND A WOOD DESTROYING PEST & ORGANISM INSPECTION REPORT.

A Wood Destroying Pest & Organism Inspection Report contains findings as to the presence or absence of evidence of wood destroying pests and organisms in visible and accessible areas and contains recommendations for correcting any infestations or infections found. The contents of Wood Destroying Pest & Organism Inspection Reports are governed by the Structural Pest Control Act and regulations.

Some structures do not comply with building code requirements or may have structural, plumbing, electrical, mechanical, heating, air conditioning or other defects that do not pertain to wood destroying organisms. A Wood Destroying Pest & Organism Inspection Report does not contain information on such defects, if any, as they are not within the scope of the licenses of either this company, or it's employees.

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of inspection. Some areas of the structure are not accessible to inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, appliances, furniture or cabinets. Infestations or infections may be active in these areas without visible and accessible evidence. If you desire information about areas that were not inspected, a further inspection may be performed at an additional cost. Carpets, furniture or appliances are not moved and windows are not opened during a routine inspection.

The exterior Surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contact a roofing contractor who is licensed by the Contractor's State License Board.

This company does not certify or guarantee against any leakage, such as (but not limited to) plumbing, appliances, walls, doors, windows, any type of seepage, roof or deck coverings. This company renders no guarantee, whatsoever, against any infection, infestation or any other adverse condition which may exist in such areas or may become visibly evident in such area after this date. Upon request, further inspection of these areas would be performed at an additional charge.

In the event damage or infestation described herein is later found to extend further than anticipated, our bid will not include such repairs. **OWNER SHOULD BE AWARE OF THIS CLOSED BID WHEN CONTRACTING WITH OTHERS OR UNDERTAKING THE WORK HIMSELF/HERSELF.**

If requested by the person ordering this report, a re-inspection of the structure will be performed. Such requests must be within four (4) months of the date of this inspection. Every re-inspection fee amount shall not exceed the original inspection fee.

Wall paper, stain, or interior painting are excluded from our contract. New wood exposed to the weather will be prime painted, only upon request at an additional expense.

All pesticides and fungicides must be applied by a state certified applicator (sec. 8555 Business and Professions Code Division 3) and in accordance with the manufacturer's label requirements.

"NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. You have a right to seek a second opinion from another company."

This Wood Destroying Pest & Organisms Report DOES NOT INCLUDE MOLD or any mold like conditions. No reference will be made to mold or mold-like conditions. Mold is not a Wood Destroying Organism and is outside the scope of this report as defined by the Structural Pest Control Act. If you wish your property to be inspected for mold or mold like conditions, please contact the appropriate mold professional.

Dream Makers Termite & Pest Control

Page 3 of 6 of Standard Inspection Report

1824 N. CURSON AVE LOS ANGELES CA 90046
Address of Property Inspected City State Zip

Stamp No. Date of Inspection Co. Report No. Escrow No.
5/7/08 62324

SECTION I CONTAINS ITEMS WHERE THERE IS EVIDENCE OF ACTIVE INFESTATION, INFECTION OR CONDITIONS THAT HAVE RESULTED IN OR FROM INFESTATION OR INFECTION.

SECTION II ITEMS ARE CONDITIONS DEEMED LIKELY TO LEAD TO INFESTATION OR INFECTION BUT WHERE NO VISIBLE EVIDENCE OF SUCH WAS FOUND.

SECTION III ITEMS ARE FURTHER INSPECTION ITEMS WHICH ARE DEFINED AS RECOMMENDATIONS TO INSPECT AREA(S), WHICH DURING THE ORIGINAL INSPECTION DID NOT ALLOW THE INSPECTOR ACCESS TO COMPLETE HIS INSPECTION AND CANNOT BE DEFINED AS SECTION I OR II.

SECTION IV ITEMS ARE INFORMATION ITEMS WHICH ARE DEFINED AS FOR NOTES ONLY AND NOTHING FURTHER IS REQUIRED AT THIS TIME.

NOTE: IF IT IS FOUND THAT DAMAGE EXTENDS INTO PREVIOUSLY INACCESSIBLE AREAS, OR AREAS THAT ARE CONCEALED BY FURNITURE, PERSONAL BELONGING, ETC., A SUPPLEMENTAL REPORT WILL BE ISSUED FOR THE FINDINGS AND ADDITIONAL COSTS WILL BE ADDED.

NOTE: IN ORDER FOR WOOD REPLACEMENT TO BE PERFORMED, IT MAY BE NECESSARY FOR DREAM MAKERS TERMITE & PEST CONTROL, INC. TO REMOVE RAIN GUTTERS IN SOME AREAS. DUE TO THE AGE OF THE GUTTERS, DREAM MAKERS TERMITE & PEST CONTROL, INC. CANNOT ASSUME RESPONSIBILITY FOR DAMAGE THAT MAY OCCUR. HOWEVER, THE UTMOST CARE WILL BE TAKEN.

NOTE: REPLACEMENT OF FLOOR COVERINGS AND/OR CARPETING SHALL BE PERFORMED BY OUR WORKMEN TO THE BEST OF THEIR ABILITY. PROFESSIONAL RESULTS ARE NOT GUARANTEED. THIS COMPANY WILL NOT BE RESPONSIBLE FOR POSSIBLE DAMAGE TO FLOOR COVERINGS OR CARPETING DURING THE PERFORMANCE OF OUR RECOMMENDATIONS. IF YOU HAVE ANY CONCERNS, PLEASE CONTACT YOUR INSPECTOR.

NOTE: THIS PROPERTY WAS NOT INSPECTED FOR THE PRESENCE OR ABSENCE OF HEALTH RELATED MOLDS OR FUNGI. BY CALIFORNIA LAW, WE ARE NEITHER QUALIFIED, AUTHORIZED, NOR LICENSED TO INSPECT FOR HEALTH RELATED MOLDS OF FUNGI. IF YOU DESIRE INFORMATION ABOUT THE PRESENCE OR ABSENCE OF HEALTH RELATED MOLDS, CONTACT AN INDUSTRIAL HYGIENIST.

LOCAL TREATMENT IS NOT INTENDED TO BE AN ENTIRE STRUCTURE TREATMENT METHOD. IF INFESTATIONS OF WOOD-DESTROYING PESTS EXTEND OR EXIST BEYOND THE AREA(S) OF LOCAL TREATMENT, THEY MAY NOT BE EXTERMINATED.

NOTE: THE TOTAL AMOUNT OF THIS CONTRACT IS DUE PAYABLE UPON COMPLETION OF WORK UNLESS OTHERWISE SPECIFIED. A FINANCE CHARGE COMPUTED AT A MONTHLY RATE OF 1.5% OF THE UNPAID BALANCE (ANNUAL PERCENTAGE RATE 18%) WILL BE ADDED TO ALL ACCOUNTS PAST DUE. ANY FEES NOT PAID BY ESCROW ARE THE RESPONSIBILITY OF THE SELLER.

NOTE: THE INSPECTOR'S ORIGINAL SIGNATURE IS HELD ON FILE FOR SEVEN YEARS. IF YOU WOULD LIKE AN ORIGINAL SIGNATURE PLEASE CALL (800) 853-0253. OTHERWISE THE SIGNATURE IS AN AUTHORIZED DIGITAL SIGNATURE.

1. SUBTERRANEAN TERMITES:

Dream Makers Termite & Pest Control

Page 4 of 6 of Standard Inspection Report

1824 N. CURSON AVE LOS ANGELES CA 90046
Address of Property Inspected City State Zip

Stamp No. 5/7/08 Date of Inspection 62324 Co. Report No. Escrow No.

1A - FINDING - Evidence of subterranean termite(s) noted in the HALLWAY HARDWOOD FLOOR.

RECOMMENDATION - Chemically treat the soil at probable termite entry for control of Subterranean Termites. This may include: rodding or trenching around the foundation walls, piers & plumbing pipes in subarea and exterior foundation or drilling attached slabs, brick or stone veneer below grade level, treating voids in foundation walls or piers. Remove termite shelter tubes (if present) from accessible areas. SECTION 1

1B - FINDING - Evidence of subterranean termite(s) noted in the 2ND SUPPORT ARCH.

RECOMMENDATION - Chemically treat the soil at probable termite entry for control of Subterranean Termites. This may include: rodding or trenching around the foundation walls, piers & plumbing pipes in subarea and exterior foundation or drilling attached slabs, brick or stone veneer below grade level, treating voids in foundation walls or piers. Remove termite shelter tubes (if present) from accessible areas. SECTION 1

1C - FINDING - Evidence of subterranean termite(s) noted in the BASEMENT DOOR FRAME STUDS.

RECOMMENDATION - Chemically treat the soil at probable termite entry for control of Subterranean Termites. This may include: rodding or trenching around the foundation walls, piers & plumbing pipes in subarea and exterior foundation or drilling attached slabs, brick or stone veneer below grade level, treating voids in foundation walls or piers. Remove termite shelter tubes (if present) from accessible areas. SECTION 1

2. DRYWOOD TERMITES:

2A - FINDING - Evidence of drywood termites noted in the WOOD KITCHEN RAILING. This evidence appears to extend into inaccessible areas.

RECOMMENDATION - Fumigate the structure for the control of drywood termites. Remove or cover drywood termite fecal pellets in accessible areas. Owner/agent is to prepare for fumigation as per list of instructions to be furnished by this company. The structure must be vacated until released for re-entry by the licensed fumigator. SECTION 1

PER GAS COMPANY REGULATIONS:

PRIOR TO FUMIGATION THE GAS MUST BE TURNED-OFF. THIS CAN ONLY BE DONE BY THE GAS COMPANY. THIS CAN BE SCHEDULED ON YOUR BEHALF BY THE FUMIGATION COMPANY. PLEASE ENSURE THAT THE METER IS ACCESSIBLE, DOGS ARE CONFINED OR REMOVED, AND THE GATE(S) ARE UNLOCKED.

ONLY THE HOMEOWNER/OCCUPANT CAN CALL TO RESTORE SERVICE. THE GAS COMPANY SHOULD BE CALLED ON THE SECOND DAY OF THE FUMIGATION. SOMEONE AT LEAST 18 YEARS OF AGE MUST BE PRESENT TO PERMIT ACCESS TO THE INTERIOR TO RELIGHT THE PILOT(S).

GAS COMPANY PHONE NUMBER: (800) 427-2200.

Dream Makers Termite & Pest Control

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1824 N. CURSON AVE LOS ANGELES CA 90046
Address of Property Inspected City State Zip

Stamp No. 5/7/08 Co. Report No. 62324 Escrow No.

4. OTHER FINDINGS:

4A - FINDING: Evidence of wood boring beetles were noted to the

RECOMMENDATION: Fumigate the structure for the control of wood boring beetles. Remove or cover beetle evidence in accessible areas. Owner/agent to prepare for fumigation as per list noted on the fumigation notice provided by this company. The structure must be vacated until released for re-entry by the licensed fumigator. SECTION 1

PER GAS COMPANY REGULATIONS:

PRIOR TO FUMIGATION THE GAS MUST BE TURNED OFF. THIS CAN ONLY BE DONE BY THE GAS COMPANY. PLEASE ENSURE THAT THE METER IS ACCESSIBLE, DOGS ARE REMOVED, AND THE GATES ARE UNLOCKED. KEYS WILL NEED TO BE PROVIDED FOR BUILDING TO BE FUMIGATED.

ONLY THE HOMEOWNER/OCCUPANT CAN CALL TO RESTORE GAS SERVICE. THE GAS COMPANY SHOULD BE CALLED ON THE SECOND DAY OF THE FUMIGATION. SOMEONE AT 18 YEARS OF AGE MUST BE PRESENT TO PERMIT ACCESS TO THE INTERIOR TO RELIGHT THE PILOT (S).

GAS COMPANY PHONE NUMBER: (800) 427-2200

4B - FINDING - Evidence of wood boring beetle damage noted at the SIDE INTERIOR WALLS.

4C - FINDING - Evidence of wood boring beetles noted at the SIDE BASEMENT WALLS . This evidence appears to extend into inaccessible areas.

4E - FINDING -Drywood termite damage to the WOOD KITCHEN RAILING.

RECOMMENDATION - Owner/Agent should engage the services of a licensed tradesman to inspect and repair damaged wood member(s) noted in the above finding. SECTION 1

4F - FINDING - Subterranean termite damage to the HALLWAY HARDWOOD FLOOR.

RECOMMENDATION - Owner/Agent should engage the services of a licensed tradesman to inspect and repair damaged wood member(s) noted in the above finding. SECTION 1

4G - FINDING - Subterranean termite damage to the 2ND SUPPORT ARCH.

RECOMMENDATION - Owner/Agent should engage the services of a licensed tradesman to inspect and repair damaged wood member(s) noted in the above finding. SECTION 1

4H - FINDING - Subterranean termite damage to the BASEMENT DOOR FRAME STUDS.

RECOMMENDATION - Owner/Agent should engage the services of a licensed tradesman to inspect and repair damaged wood member(s) noted in the above finding. SECTION 1

"Thank you for selecting our company to perform a structural pest control inspection on

Dream Makers Termite & Pest Control

Page 6 of 6 of Standard Inspection Report

1824 N. CURSON AVE LOS ANGELES CA 90046
Address of Property Inspected City State Zip

Stamp No. 5/7/08 Date of Inspection 62324 Co. Report No. Escrow No.

your property. Our inspectors have determined that your property will benefit from the safe application of a chemical commonly used for structural pest control. In accordance with the laws and regulations of the State of California, we are required to provide you and your occupants with the following information prior to any application of chemicals to such property. Please take a few moments to read and become familiar with the content.

CHEMICAL NOTICE: DREAM MAKERS TERMITE & PEST CONTROL INC. will use chemicals noted below for the control of wood destroying pest and/or organisms in locations identified in the structural pest control report as indicated above. By signing the "AGREEMENT", you authorize the use of one or more of the following chemicals:

- Bora-cara -Disodium Octaborate Tetrahydrate
- Borid -Orthoboric Acid
- Cy-kick -Cyfluthrin
- Impel Rods -Anhydrous Disodium Octaborate
- Termidor SC -Fipronil
- Timbor -Disodium Octaborate Tetrahydrate
- Vikane -Sulfuryl Flouride
- XT-2000 -d-Limonene

State Law requires that you be given the following information:

""CAUTION - PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Operators are licensed and regulated by the Structural Pest control Board, and apply pesticides which are registered and approved for use by the California Department of Food and Agriculture and the United States Environmental Protection Agency. Registration is granted when the state finds that based on scientific evidence, there are no appreciable risks weighted by the benefits. The degree of risk depends on the degree of exposure, so exposure should be minimized.""

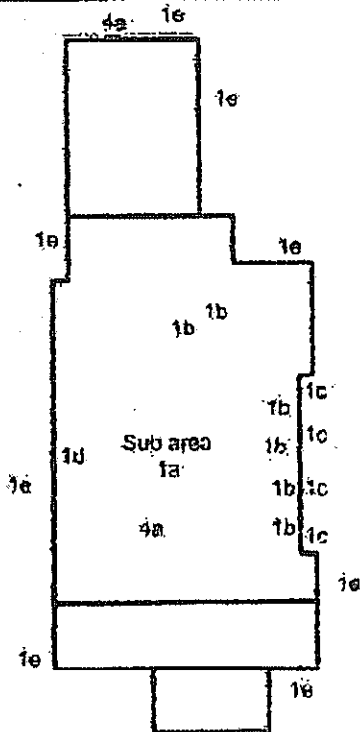
""If within 24 hours following application, you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or poison control center and your pest control operator immediately.""

For further information contact any of the following:

- Dream Makers Termite and Pest Control, Inc. - (818) 838-3002
- County Health Department - Los Angeles (800) 427-8700; Orange County:(800) 564-8448
- County Poison Control Center - (800)411-8080; (800) 876-4766
- County Agricultural Commissioner - Los Angeles (626) 575-5466; Orange:(714) 447-7100
- Structural Pest Control Board - (916) 561-8704

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 1824	Street N Curson Ave	City Los Angeles	Zip 90046-2206	Date of Inspection 05/05/08	Number of Pages 3
Pacific Coast Termite 2600 Walnut Ave unit A Tustin, CA 92780 Tel 714-693-1730 Fax 714-693-1852 Registration #: PR5294				A LICENSED PEST CONTROL OPERATOR IS AN EXPERT IN HIS/HER FIELD. ANY QUESTIONS RELATIVE TO THIS REPORT SHOULD BE REFERRED TO HIM/HER. Report #: 10YB44	
Ordered by: The Watties Manston 1824 N Curson Ave Los Angeles, CA 90046-2208 323-874-4008		Property Owner and/or Party of Interest: The Watties Manston 1824 N Curson Ave Los Angeles, CA 90046-2208 323-874-4008		Report sent to:	
COMPLETE REPORT <input type="checkbox"/> LIMITED REPORT <input checked="" type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/> CORRECTED REPORT <input type="checkbox"/>					
General Description: Residential structure, two story, wood frame, raised heritage home. Currently occupied.				Inspection Tag Posted: sub	
				Other Tags Posted: ...	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input checked="" type="checkbox"/> Drywood Termites <input type="checkbox"/> Fungus/Dryrot <input type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input type="checkbox"/> If any of the above items are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.					
Key: 1 = Subterranean Termites 2 = Drywood Termites 3 = Fungus/Dryrot 4 = Other Findings 5 = Unknown Further Inspection					



Inspected By: Katry Rail License No.: 140145 Signature: _____

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Suite 1000, Sacramento, CA 95816-3971.
 NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 661-8100, (toll) 707-6100 or www.structuralpest.org. 45M-41 (REV. 10/01)

General Comments

WHAT IS A WOOD DESTROYING PEST AND ORGANISM INSPECTION REPORT? READ THIS DOCUMENT. IT EXPLAINS THE SCOPE AND LIMITATIONS OF A STRUCTURAL PEST CONTROL INSPECTION AND A WOOD DESTROYING PEST AND ORGANISM INSPECTION REPORT.

A Wood Destroying Pest and Organism Inspection Report contains findings as to the presence or absence of evidence of wood destroying pests and organisms in visible and accessible areas and contains recommendations for correcting any infestations or infections found. The contents of Wood Destroying Pest & Organism Inspection Reports are governed by the Structural Pest Control Act and regulations.

Some structures do not comply with building code requirements or may have structural, plumbing, electrical, mechanical, heating, air conditioning or other defects that do not pertain to wood destroying organisms. A Wood Destroying Pest & Organism Inspection Report does not contain information on such defect, if any, as they are not within the scope of the license of either this company, or its employees.

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of inspection. Some areas of the structure are not accessible to inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, appliances, furniture or cabinets. Infestations or infections may be active in these areas without visible and accessible evidence. If you desire information about areas that were not inspected, a further inspection may be performed at an additional cost. Carpets, furniture or appliances are not moved and windows are not opened during a routine inspection.

NOTE: "The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contact a roofing contractor who is licensed by the Contractor's State License Board." This company does not certify or guarantee against any leakage, such as (but not limited to) plumbing, appliances, walls, doors, windows, any type of seepage, roof or deck coverings. This company renders no guarantee, whatsoever, against any infection, infestation or any other adverse condition which may exist in such areas or may become visibly evident in such areas after this date. Upon request, further inspection of these areas would be performed at an additional charge.

In the event damage or infestation described herein is later found to extend further than anticipated, our bid will not include such repairs. OWNER SHOULD BE AWARE OF THIS CLOSED BID WHEN CONTRACTING WITH OTHERS OR UNDERTAKING THE WORK HIMSELF/HERSELF.

If requested by the person ordering this report, a re-inspection of the structure will be performed. Such requests must be within four (4) months of the date of this inspection. Every re-inspection fee amount shall not exceed the original inspection fee.

Wall paper, stain, or interior painting are excluded from our contract. New wood exposed to the weather will be prime painted, only upon request at an additional expense.

All pesticides and fungicides must be applied by a state certified applicator (sec. 8555 Business and Professions Code Division 3) and in accordance with the manufacturer's label requirements.

"NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. You have the right to seek a second opinion from another company."

Please note: drywood termite droppings may be observed for a period of up to 6 months following treatment. Should activity continue please call the offices of Pacific Coast Termite. Should you see any live activity (Swarmers), please call to schedule a service call right away.

_____ initials

Description of Findings

SUBTERRANEAN TERMITES

Finding: 1A Proactive treatment for subterranean termites at sub area framing and soil.
Recommendation: Treat soil with Premise 75 at all probable entry points around the foundation of the structure. This may include rod injection to the soil, trenching around the foundation walls of the exterior, sub area and pier posts in the sub area. It may be necessary to drill through any attached slab foundation. While due caution is exercised, Pacific Coast Termites, Inc. is not responsible for damage to plumbing, electrical, or any other service lines beneath the slab.

Price: \$2,277.00

Finding: 1B Evidence of subterranean termites noted at basement of wall next to water heater and subarea footing and framing. Drill slab along wall and at water heater.
Recommendation: Localized treatment to the infested area with Premise 75. This may include rod injection, trenching around the foundation walls of the exterior, sub area and pier posts in the sub area. It may be necessary to drill through any attached slab foundation. While due caution is exercised, Pacific Coast Termites, Inc. is not responsible for damage to plumbing, electrical, or any other service lines beneath the slab. Please note that this spot treatment is limited to the area noted on the diagram.

Price: price included in 1A

Finding: 1C Evidence of subterranean termites noted at side porch pedestals. Foam insulate with termite-care.
Recommendation: Localized treatment to the infested area with Premise 75. This may include rod injection, trenching around the foundation walls of the exterior, sub area and pier posts in the sub area. It may be necessary to drill through any attached slab foundation. While due caution is exercised, Pacific Coast Termites, Inc. is not responsible for damage to plumbing, electrical, or any other service lines beneath the slab. Please note that this spot treatment is limited to the area noted on the diagram.

Price: price included in 1A

Finding: 1D Subterranean termite damage noted at wood flooring.
Recommendation:
 Price: \$0.00

Finding: 1E Proactive treatment for subterranean termites at soil around entire structure.
Recommendation: Treat soil with Premise 75 at all probable entry points around the foundation of the structure. This may include rod injection to the soil, trenching around the foundation walls of the exterior, sub area and pier posts in the sub area. It may be necessary to drill through any attached slab foundation. While due caution is exercised, Pacific Coast Termites, Inc. is not responsible for damage to plumbing, electrical, or any other service lines beneath the slab.

Price: price included in 1A

OTHER FINDINGS

Finding: 4A Cellulose Debris was noted in the sub area of the line of inspection.
Recommendation: Remove Cellulose Debris (of take-able size).

Price: Price for work will be determined by licensed contractor. Pacific Coast Termites assumes no responsibility for cost or workmanship of licensed contractor hired to do work.

Price before 2530 - 10% heritage home
 Grand Total: \$2,277.00

Disclaimer:

Limited Warranty, Disclaimer and Limitation of Claims. Company guarantees that the work will be performed in a good workmanlike manner within generally accepted pest control practices. The warranty covers all work performed by Company in accordance with the recommendations noted in the Inspection Report, and if termite infestation is found in any of those areas in which work was performed within two (2) years of the completion of Company's work, further treatments will be performed at no additional charge to immediately such infestation in accordance any recommendations made in a subsequent inspection report identifying such infestation. The warranty covers all structural repair work performed against defects in workmanship and materials for a period of two (2) years from the date of its completion, and is limited to the performing the repairs necessary to correct any such defects in workmanship. This warranty does not cover damage or defects that are the result of characteristics common to the materials used, or conditions resulting from condensation, expansion, or contraction of such materials. Further, Company makes no warranties or representations concerning any pesticides or other materials installed by Company. Warranty work will be completed within sixty (60) days from the date of receipt of written request from Owner. Company's sole obligation shall be to repair, or replace, such work, or portion thereof,

that has been promptly reported as defective by Owner within the warranty period and which has been determined by Company to have been defective. "Local treatment is not intended to be an entire structure treatment method. If infestations of wood destroying pests extend or exist beyond the area(s) of local treatment, they may not be exterminated."

THE ABOVE LIMITED WARRANTY IS THE ONLY WARRANTY MADE BY COMPANY. COMPANY DISCLAIMS ALL OTHER EXPRESS AND IMPLIED WARRANTY, INCLUDING ALL WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. COMPANY SHALL HAVE NO LIABILITY FOR ANY INDIRECT, CONSEQUENTIAL, OR SPECIAL DAMAGES TO OWNER WITH RESPECT TO COMPANY'S OBLIGATIONS HEREUNDER, INCLUDING, BUT NOT LIMITED TO, LOSS OF USE, LOSS OF PRODUCTION, LOSS OF PROFITS, LOSS OF BUSINESS OPPORTUNITIES, EMOTIONAL DISTRESS, AGGRAVATION, OR ANY OTHER SIMILAR DAMAGES EVEN IF COMPANY HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

Force Majeure-Delay-Extension of Time. Company shall not be liable for any delay or nonperformance caused by an act of God, acts of the Owner, the Owner's architect, engineer, contractor, or the building department, stormy weather, strikes or other labor troubles not the fault of Company, extra work ordered by the Owner, Owner's architect, engineer, contractor, or the building department, unavailability of materials, failure of the Owner to make progress payments when due that substantially interferes with the Company's ability to continue performance of the work, or any other contingency beyond the Company's reasonable control.

In accordance with the laws and regulations of the State of California, we are required to provide you the following information prior to application of pesticides to your property.

"State law requires that you be given the following information: CAUTION, PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Dept. of Food and Agriculture and the United States Environmental Protection Agency. Registration is granted when the State finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized."

"If within 24 hours following application, you experience symptoms similar to common illness comparable to the flu, contact your physician or poison control center (800)878-4766 and your pest control operator immediately. Effects of over exposure to these materials can include tremors and tonic and colonic convulsions.

For further information contact any of the following:
Pacific Coast Termite, Inc. (668)500-7224

Poison Control Center (800)878-4766

Structural Pest Control Board (Regulatory info.) (916)561-6704
1418 Howe Ave, Suite 18, Sacramento, Ca 95825

Alameda County Agricultural commissioners office (510) 670-5232
Contra Costa County Agricultural commissioners office (925) 648-5250
Fresno County Agricultural commissioners office (559) 456-7510
Humboldt Agricultural commissioners office (707) 445-7223
Kern County Agricultural commissioners office (681)868-6300
Kings County Agricultural commissioners office (559) 592-3211
Los Angeles County Agricultural commissioners office (626) 575-5451
Madera County Agricultural commissioners office (559) 675-7878
Marin County Agricultural commissioners office (415) 489-6700
Merced County Agricultural commissioners office (209) 365-7431
Monterey County Agricultural commissioners office (831) 759-7325
Napa County Agricultural commissioners office (707) 253-4357
Orange County Agricultural commissioners office (714) 447-7100
Placer County Agricultural commissioners office (530) 869-7372
Riverside County Agricultural commissioners office (951) 995-3045
Sacramento County Agricultural commissioners office (916) 875-6803
San Benito Agricultural commissioners office (831) 637-5344
San Bernardino Agricultural commissioners office (909) 387-2115
San Diego County Agricultural commissioners office (658) 694-2741
San Francisco County Agricultural commissioners office (415) 252-3830
San Joaquin County Agricultural commissioners office (209) 489-3300
San Mateo County Agricultural commissioners office (650) 353-4700
Santa Barbara County Agricultural commissioners office (805) 681-5600
Santa Clara County Agricultural commissioners office (408) 918-4600
Santa Cruz County Agricultural commissioners office (831) 763-8080
Sonoma County Agricultural commissioners office (707) 565-2371
Stanislaus County Agricultural commissioners office (209) 525-4730
Tulare County Agricultural commissioners office (559) 685-3323
Ventura County Agricultural commissioners office (805) 933-8415
Yolo County Agricultural commissioners office (530) 666-8140

TERMITE AND FUNGUS CONTROL CHEMICALS

Bora-Cere (EPA Reg No. 84405-1)
Active Ingredients: Disodium Octaborate Tetrahydrate 80%

Premise 75 (EPA Reg No. 3125-455)

Active Ingredients: Imidacloprid, 1-[(6-chloro-3-pyridinyl)methyl]-N-nitro-2-imidazoledinimine 75%

Premise Form (EPA Reg No. 432-1351)

Active Ingredients: Imidacloprid, 1-[(6-chloro-3-pyridinyl)methyl]-N-nitro-2-imidazoledinimine 0.05%

XT-2000 (EPA Reg No. 71988-1)

Active Ingredients: d-Limonene 92%

ProCura-DL (EPA Reg No. 489-497)

Active Ingredients: d-Limonene 10%

THANK YOU FOR CHOOSING PACIFIC COAST TERMITE, INC., to perform a structural pest control inspection on your property. Our inspection has determined that your property will benefit from the safe application of a chemical commonly used for structural pest control.

By signing below I authorize the following recommendations to be performed as stated in this report and for the price as set forth in the above report.

Authorized Signature/Date

Pacific Coast Termite, Inc. Rep/Date

McKernan Inspections

FOR YOUR INFORMATION

To: **Steve Sylvester**
Fax number: 1 323 4655993

From: **Roxanne Silvera**
Fax number: 8187855838
Home phone:
Business phone: 818-845-2633 xt20

Date & Time: 5/5/2008 3:37:24 PM
Pages sent: 13
Re: Termite Report for 1824 N. Curson Ave

Steve -

Please review the attached report and note that items:

2A, 3B and 4B require a contractor to price. If you would like to schedule our contractor please give me a call. There is no additional charge for this service.

Roxanne

6111 Kester Ave
Van Nuys, Ca 91411
Email: roxannes@mckernaninspections.com

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 1824 N. Curson Ave., Los Angeles, CA 90046	Street	City	Zip	Date of Inspection 05/01/2008	Number of Pages 7
 <p>McKernan Inspections, Inc. 6111 KESTER AVE., VAN NUYS, CA 91411 (818) 785-3587 - Main Office (818) 785-5838 - FAX</p>	Report # W24182				
	Lic. Registration # PR 3322				
	Escrow #				
Ordered by: Steve Sylvester 1824 N. Curson Ave. Los Angeles, CA 90046 (323) 874-4005 - Personal	Property Owner and/or Party of Interest: Non-Profit Organization C/o Steve Sylvester	Report Sent to: Steve Sylvester 1824 N. Curson Ave. Los Angeles, CA 90046 (323) 874-4005 - Personal			
COMPLETE REPORT <input checked="" type="checkbox"/> LIMITED REPORT <input type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
General Description: Two-story, Stucco over wood frame, Single family residence, Furnished				Inspection Tag Posted: Attic	
				Other Tags Posted:	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input checked="" type="checkbox"/> Drywood Termites <input checked="" type="checkbox"/> Fungus / Dryrot <input checked="" type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input checked="" type="checkbox"/>					
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for the details on checked items.					

The drawing is located on the final page.

This Diagram is not to scale

Inspected by: Jorge A Ortiz State License No. FR33464 Signature 

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with the services performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8188 or www.pestboard.ca.gov

SECOND PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

"NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. You have a right to seek a second opinion from another company."

Certain areas are recognized by the industry as inaccessible and/or for other reasons not inspected. These include but are not limited to: inaccessible and/or, insulated attics or portions thereof, attics with less than 18" clear crawl space, the interior of hollow walls; spaces between a floor or porch deck and the ceiling below; areas where there is no access without defacing or tearing out lumber, masonry or finished work; make inspection impractical; and areas or timbers around eaves and window frames, and siding that would require use of an extension ladder. These areas can be inspected upon request for an additional charge.

CONDITIONAL GUARANTEE: McKernan Inspections, Inc. guarantees all repair work performed by this company for one-year and fumigations are guaranteed for two-years. This company is not responsible for any future infestation, dry rot or adverse conditions beyond the time of inspection. If fumigation is performed, McKernan Inspections, Inc. is not liable for any damage to shrubs, vines, trees, etc. or any damage to roofs or roof members at the time of fumigation. In the event that a re-treatment, re-fumigation or any other repair work is to be performed to honor a guarantee issued by McKernan Inspections, Inc. the home-owner is responsible to make the property available for any work to be performed. McKernan Inspections, Inc. will not be liable for any cost of vacating or preparing the residence for re-treatment and / or repairs. **NOTE:** A new and/or extension of guarantee is never given for re-treatments done under original guarantee.

NOTE: "The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contract a roofing contractor who is licensed by the Contractor's State License Board."

TERMITE AND FUNGUS CONTROL CHEMICALS

Vikane (EPA Reg. No. 464-232)

Active Ingredients: Vikane-sulfuryl floride 99.5%, Chloropicrin .5%

Mold Policy Statement: Structural Pest Control Board, May 2002

Molds, sometimes called mildew, are not wood-destroying organisms. Branch 3 licensees do not have a duty under the Structural Pest Control Act and related regulations to classify molds as harmful to human health or not harmful to human health.

This Wood Destroying Pest & Organisms Report **DOES NOT INCLUDE MOLD** or any mold like conditions. No reference will be made to mold or mold-like conditions. Mold is not a Wood Destroying Organism and is outside the scope of this report as defined by the Structural Pest Control Act. If you wish your property to be inspected for mold or mold like conditions, please contact the appropriate mold professional.

State law requires that you be given the following information:

"Caution: Pesticides are toxic chemicals. Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Pesticide Regulation and the United States Environmental Protection Agency. Registration is granted when the state finds that, based on existing scientific evidence, there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized. If within 24-hours following application you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or California Poison Control Center (800-876-4766) and your pest control operator immediately."

For further information, contact any of the following:

California Poison Control Center.....800-876-4766
County Health Department.....800-427-8700
Structural Pest Control Board.....916-561-8700

Note: This company will reinspect repairs done by others within four months of the original inspection. A charge, if any, can be no greater than the original inspection fee for each reinspection. The reinspection must be done within ten working days of request. The reinspection is a visual inspection and if inspection of concealed areas are desired, inspection of work in progress will be necessary. Any guarantees must be received from parties performing repairs. The cost of reinspection fee is \$ 50.00.

THIRD PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

PER GAS COMPANY REGULATIONS: Prior to fumigation, the gas must be turned off. This can only be done by the gas company. This WILL be scheduled on your behalf by the fumigation company. Please ensure that the meter is accessible, dogs are confined or removed, and the gate(s) are unlocked.

ONLY YOU, THE HOMEOWNER OR OCCUPANT, CAN CALL TO RESTORE SERVICE. The gas company should be called 48-hours in advance. Someone at least 18-years of age must be present to permit access to the interior to re-lite the pilot(s).

Note: The estimates for repairs given do not include costs for building permits that may be required or requested; any costs for building permits will be over and above the repair estimate.

A separated report has been requested which is defined as section I / section II conditions evident on the date of inspection. Section I contains items where there is evidence of active infestation, infection of conditions that have resulted in or from infestation of infection. Section II items are conditions deemed likely to lead to infestation or infection but where no visible evidence of such was found. Further inspection items are defined as recommendations to inspect area(s) which during the original inspection did not allow the inspector access to complete his inspection and cannot be defined as section I or section II.

FINDINGS AND RECOMMENDATIONS

NOTE: SECOND-STORY STALL SHOWER NOT WATER-TESTED DUE TO PLASTER CEILINGS BELOW.

NOTE: SECOND-STORY ROOF EAVES AND WINDOWS WERE INSPECTED FROM GROUND LEVEL ONLY.

NOTE: Substructure Area(s): See 1D
Stall Shower(s): None
Foundation: Concrete
Porches/steps: Concrete
Ventilation: Adequate
Abutments: See 5B
Attic Spaces: Inspected
Garage(s): N/A
Decks/patio(s): N/A
Interior: See 1C, 4A, 4B
Exterior: Inspected

Subterranean Termites:

1A (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from earth-fill porch into subframing.
RECOMMENDATION: Drill & treat into infested areas with termidor for the control of subterranean termites.
Note: McKernan Inspections, Inc. cannot be held liable for any damages that may occur to underground pipes and ducting during the procedure. Destroy termite evidence. *Note: the corrective treatments above is warrantied in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

1B (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from basement slab into subframing.
RECOMMENDATION: Drill & treat into infested areas with termidor for the control of subterranean termites.
Note: McKernan Inspections, Inc. cannot be held liable for any damages that may occur to underground pipes and ducting during the procedure. Destroy termite evidence. *Note: the corrective treatments above is warrantied in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

- Findings and Recommendations continued on next page -

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

1C (Section I)
FINDINGS: Subterranean termite damages noted to hardwood flooring of downstairs hallway.
RECOMMENDATION: Replace up to 20 ft. of hardwood flooring.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

NOTE: Hardwood flooring may not match in color or height due to previous sanding. This bid does not include stain, varnish, urathane finish coat or finish coat.

1D (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from substructure soil into subframing and cellulose debris on ground of substructure.
RECOMMENDATION: Apply chemical barriers at infested areas with termidor for the control of subterranean termites. Destroy termite evidence. Remove cellulose debris.
*Note: The corrective treatment listed above is guaranteed in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

Drywood Termites:

2A (Section I)
FINDINGS: Evidence of drywood termites noted to roof framing, extending into inaccessible areas.
RECOMMENDATION: Completely seal entire house and attached garage airtight to hold a sufficient amount of lethal fumigant gas (Vikane; sulfuryl flouride with chloropicrin warning agent). Thoroughly aerate before admitting any occupants. This process is guaranteed to eliminate all present kalotermes. McKernan Inspections, Inc. cannot be responsible for any damage that may occur to roof, plants, landscape, paint, skylight or T.V. aerial during the process of fumigation (2-year guarantee). Mask or remove evidence.

* Note: Damage to plants is deemed likely during the process of fumigation. To prevent further damages from occurring, we recommend owner cut back any/all foliage from structure prior to fumigation. (Owner to sign plant release).

** Note: See fumigation preparation sheet for information regarding the gas company to turn off and on your property. Fumigators are not allowed to turn gas meters on or off.

NOTE: **DUE TO THE FRAGILE NATURE OF THE ROOFING MATERIAL, DAMAGES MAY OCCUR DURING FUMIGATION PROCESS. MCKERNAN INSPECTIONS CANNOT ASSUME RESPONSIBILITY FOR DAMAGES TO ROOF COVERINGS, IF ANY. WE RECOMMEND OWNER CONTACT A PROPER ROOFING CONTRACTOR TO INSPECT CONDITION OF ROOFING MATERIAL AFTER FUMIGATION.**

Fungus / Dry Rot:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

3A (Section I)

FINDINGS: Dryrot damages noted to window due to direct weathering.

RECOMMENDATION: Chisel out and repair surface damages with epoxy wood filler.

Note: If surface damages are found to be structural, a supplemental report will be issued.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

3B (Section I)

FINDINGS: Dryrot damages noted to picture window due to direct weathering.

RECOMMENDATION: Chisel out and repair surface damages with epoxy wood filler.

Note: If surface damages are found to be structural, a supplemental report will be issued.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

Other Findings:

4A (Section I)

FINDINGS: Wood boring beetles noted to interior siding and shoe base, extending into inaccessible areas.

RECOMMENDATION: See recommendation #2A.

4B (Section I)

FINDINGS: Wood boring beetle damages noted to interior siding of basement, door jamb and trim.

RECOMMENDATION: Replace all interior siding of basement, 16 ft. of door jamb and trim.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

4C (Section I)

FINDINGS: Wood boring beetle damages noted to base shoe.

RECOMMENDATION: Replace up to 8 ft. of base shoe.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

4D (Section II)

FINDINGS: Moisture stains noted to ceiling due to unknown source.

RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

4E (Section II)
FINDINGS: Moisture stains and peeling paint noted to roof framing due to unknown source.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

4F (Section II)
FINDINGS: Softness noted to balcony waterproof membrane due to unknown source. Framing was inaccessible for inspection due to waterproof membrane and stucco soffit covering.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

4G (Section II)
FINDINGS: Moisture stains noted to wall and ceiling of basement due to unknown source.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

Unknown / Further Inspection:

5A (Section Unknown)
FINDINGS: Inspection of garage was limited in areas due to storage at walls.
RECOMMENDATION: If requested, we will further inspect after storage is removed.

5B (Section Unknown)
FINDINGS: Drywood termite damages noted to basement ceiling framing which was visible from a small opening done by others.
RECOMMENDATION: If requested, and if practical, open inaccessible areas to further inspect.

NOTE: Continue onto next page for contract.

SEVENTH PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

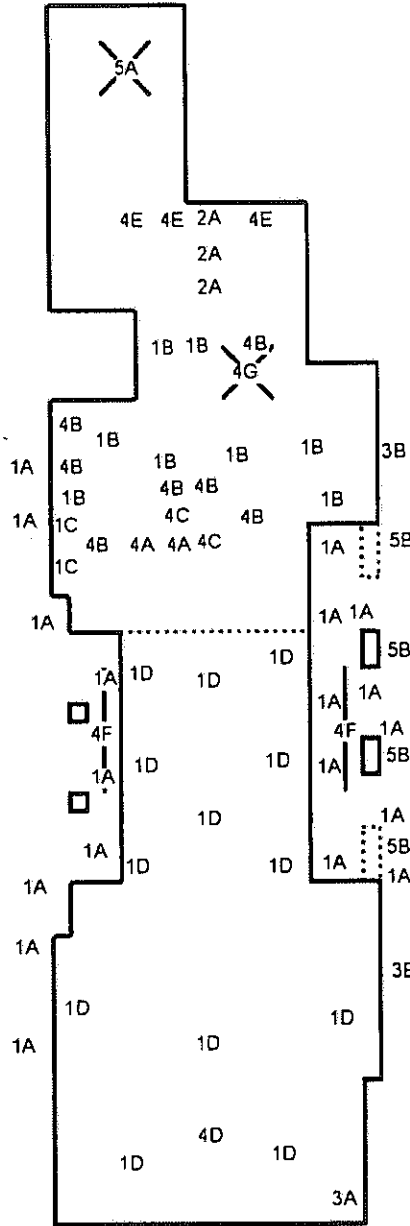
05/01/2008

W24182

Date

Report #

This Diagram is not to scale





McKernan Inspections, Inc.

6111 KESTER AVE., VAN NUYS, CA 91411

(818) 785-3587 - Main Office

(818) 785-5838 - FAX

Work Authorization

Page 1 of 3

Address: 1824 N. Curson Ave. Los Angeles, CA 90046

Report # W24182

Report Date: 05/01/2008

The terms of this contract are agreed upon as set forth in the above noted report.

Findings and Recommendations estimated by this Company:

Approval	Item	Primary Estimate	Section
<input type="checkbox"/>	1A	\$950.00	I
<input type="checkbox"/>	1B	Included in 1A	I
<input type="checkbox"/>	1C	\$450.00	I
<input type="checkbox"/>	1D	Included in 1A	I
<input type="checkbox"/>	2A	Bid Upon Request	I
<input type="checkbox"/>	3A	\$290.00	I
<input type="checkbox"/>	3B	Bid Upon Request	I
<input type="checkbox"/>	4A	Included in 2A	I
<input type="checkbox"/>	4B	Bid Upon Request	I
<input type="checkbox"/>	4C	\$120.00	I
<input type="checkbox"/>	4D	Not Estimated	II
<input type="checkbox"/>	4E	Not Estimated	II
<input type="checkbox"/>	4F	Not Estimated	II
<input type="checkbox"/>	4G	Not Estimated	II
<input type="checkbox"/>	5A	Not Estimated	Unknown
<input type="checkbox"/>	5B	Not Estimated	Unknown

Total cost to be determined after Section I items listed above are estimated

Inspection Fee: \$ 100.00

Items: 4A, 4B & 4C (Section I)



McKernan Inspections, Inc.

6111 KESTER AVE., VAN NUYS, CA 91411

(818) 785-3587 - Main Office

(818) 785-5838 - FAX

Work Authorization

Page 2 of 3

Address: 1824 N. Curson Ave. Los Angeles, CA 90046

Report # W24182

Report Date: 05/01/2008

The terms of this contract are agreed upon as set forth in the above noted report.

Terms and Conditions:

Notice: The charge for service that this company subcontracts to another person or entity may include the company's charges for arranging and administering such services that are in addition to the direct costs associated with paying the subcontractor. You may accept McKernan's bid or you may contract directly with another registered company licensed to perform the work.

If you choose to contract directly with another registered company, McKernan will not in any way be responsible for any act or omission in the performance of work that you directly contract with another to perform.

ADDITIONAL FEES/CHARGES

Any additional damage found while work is being performed will be supplemented by a separate report as to the additional findings and costs. All repairs performed by others must be reinspected by our company before certification will be issued. We do not guarantee work completed by others. Any repairs completed by others must be guaranteed in writing and submitted to our company before a certification will be issued. This firm does not make statements concerning workmanship; workmanship is only determinable by those paying or receiving those services. *A reinspection of specific items on the report, or any other conditions pertaining to this structure, can be done at an additional cost per trip and be for a cost no greater than the original inspection fee. The reinspection must be performed within four months of the original inspection.

NOTICE TO OWNER

Under the California Mechanics Lien Law, any structural pest control company who contracts to work for you, any contractor, subcontractor, laborer, supplier, or other person who helps to improve your property, but is not paid for his work or supplies, has a right to enforce a claim against your property. This means that after a court hearing, property could be sold by a court officer and proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractors, laborers, or supplier remains unpaid. To preserve their right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled "Preliminary Notice." General contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property, its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid. To ensure extra protection for yourself and your property, you may wish to take one or more of the following steps:

TERMS OF PAYMENT

The total amount of this contract is due and payable upon completion of the work listed above, unless otherwise specified. Only the work specified in the contract is being done at this time due to owner's wishes. Any work performed against an existing escrow will be the financial responsibility of the property owner in the event of a cancelled escrow. In case of non-payment by owner, reasonable attorney's fees and costs of collection shall be paid by the owner whether suit is filed or not. A service charge of 1-1/2% per month will be charged on all balances over thirty (30) days. The 1-1/2% per month equals 18% per annum on the unpaid balances (in the event of escrow accounts - 45 days from close of escrow).

ARBITRATION DISPUTES

By relying on this wood destroying organisms report, you agree that any controversy or claim arising out of or relating to this inspection and/or this report shall be settled by arbitration in accordance with the construction industry arbitration rules of the American Arbitration Association, and judgement upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

See additional waivers to plants/roof, if applicable.

(continued...)

I HAVE READ THIS CONTRACT AND THE TERMITE REPORT TO WHICH IT REFERS. I HAVE READ AND UNDERSTAND THE TERMS OF THIS WORK AUTHORIZATION CONTRACT AND THE REPORT TO WHICH IT REFERS AND AGREE TO ALL TERMS AND CONDITIONS.

**I am an "agent" for the property owner. I am acting with his/her full knowledge of the above conditions, terms, costs, and waivers.

*Note: Customer must provide guarantee of payment when ordering work to be completed. If escrow is pending we will hold your invoice for up to 45-days for payment. Please provide any changes in your billing information as changes occur.

Customer billing information: (Bill to: _____) Attn.: _____

Escrow File/Ref. No.: _____ Escrow closing date: _____

Items to complete: _____ Cost \$ _____

Do not complete items: _____

Work date(s): _____ Fumigation Date, if applies: _____

Shower pan replacement date, if applies: _____

.....
Print Owner/Agent Name: _____ Phone number: _____

Signature (Owner/Agent): _____

Owner Address (if different from property address): _____

Today's Date: _____

Payment shall be made as follows: With close of Escrow \$ _____ Deposit \$ _____ on Completion

Escrow Number: _____ Escrow Company: _____ Escrow Officer: _____

Phone () _____ - _____ Fax () _____ - _____ Address: _____

Owner or Authorized Representative: Owner Representative's Title: _____

Print Name: _____ X _____ Date _____

Owner or Authorized Representative: Owner Representative's Title: _____

Print Name: _____ X _____ Date _____

McKernan Inspections

confidential
fax

To: **Steve Sylvester**
Fax Number: 1 323 4655993

From: **CLAUDIA REYES**
Fax Number: 818 785-5838
Business Phone: 818-7853587 Ext.17
Home Phone:

Pages: 13
Date/Time: 5/16/2008 2:43:24 PM
Subject: 1824 N. Curson Ave.

SECOND PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

"NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestation, termite damage, fungus damage, etc.). However, recommendations to correct these findings may vary from company to company. You

Certain areas are recognized by the industry as inaccessible either for other reasons not inspected. These include but are not limited to, inaccessible and/or, insulated attics or portions thereof, attics with less than 18" clear crawl space, the interior of hollow walls, spaces between a floor and roof joists and the ceiling below, areas under floors in a room with a floating subfloor, and areas under and behind wall, ceiling, and floor coverings. Inspection impractical, and areas of timbers around eaves and window frames, and siding that would require use of an extension ladder. These areas can be inspected upon request for an additional charge.

CONDITIONAL GUARANTEE. McKernan Inspections, Inc. guarantees all repair work performed by this company for one year and fumigations are guaranteed for two-years. This company is not responsible for any future infestation, dry rot or adverse conditions beyond the time of inspection. If fumigation is performed, McKernan Inspections, Inc. is not liable for any damage to shrubs, vines, trees, etc. or any damage to roofs or roof members at the time of fumigation. In the event that a re-treatment, re-fumigation or any other repair work is to be performed to honor a guarantee issued by McKernan Inspections, Inc. the home-owner is responsible to make the property available for any work to be performed. McKernan Inspections, Inc. will not be liable for any cost of vacating or preparing the residence for re-treatment and/or repairs. **NOTE:** A new and/or extension of guarantee is never given for re-treatments done under original guarantee.

NOTE: "The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contract a roofing contractor who is licensed by the Contractor's State License Board."

TERMITE AND FUNGUS CONTROL CHEMICALS

Vikane (EPA Reg. No. 464-232)

Active Ingredients: Vikane-sulfuryl floride 99.5%, Chloropicrin .5%

Mold Policy Statement: Structural Pest Control Board, May 2002

Molds, sometimes called mildew, are not wood-destroying organisms. Branch 3 licensees do not have a duty under the Structural Pest Control Act and related regulations to classify molds as harmful to human health or not harmful to human health.

This Wood Destroying Pest & Organisms Report DOES NOT INCLUDE MOLD or any mold like conditions. No reference will be made to mold or mold-like conditions. Mold is not a Wood Destroying Organism and is outside the scope of this report as defined by the Structural Pest Control Act. If you wish your property to be inspected for mold or mold like conditions, please contact the appropriate mold professional.

State law requires that you be given the following information:

"Caution: Pesticides are toxic chemicals. Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Pesticide Regulation and the United States Environmental Protection Agency. Registration is granted when the state finds that, based on existing scientific evidence, there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized. If within 24-hours following application you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or California Poison Control Center (800-876-4766) and your pest control operator immediately."

For further information, contact any of the following:

California Poison Control Center.....800-876-4766
County Health Department.....800-427-8700
Structural Pest Control Board.....916-561-8700

Note: This company will reinspect repairs done by others within four months of the original inspection. A charge, if any, can be no greater than the original inspection fee for each reinspection. The reinspection must be done within ten working days of request. The reinspection is a visual inspection and if inspection of concealed areas are desired, inspection of work in progress will be necessary. Any guarantees must be received from parties performing repairs. The cost of reinspection fee is \$ 50.00.

THIRD PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

PER GAS COMPANY REGULATIONS: Prior to fumigation, the gas must be turned off. This can only be done by the gas company. This WILL be scheduled on your behalf by the fumigation company. Please ensure that the meter is accessible, dogs are confined or removed, and the gate(s) are unlocked.

ONLY YOU, THE HOMEOWNER OR OCCUPANT, CAN CALL TO RESTORE SERVICE. The gas company should be called 48-hours in advance. Someone at least 18-years of age must be present to permit access to the interior to re-lite the pilot(s).

Note: The estimates for repairs given do not include costs for building permits that may be required or requested, any costs for building permits will be over and above the repair estimate.

A separated report has been requested which is defined as section I / section II conditions evident on the date of inspection. Section I contains items where there is evidence of active infestation, infection of conditions that have resulted in or from infestation of infection. Section II items are conditions deemed likely to lead to infestation or infection but where no visible evidence of such was found. Further inspection items are defined as recommendations to inspect area(s) which during the original inspection did not allow the inspector access to complete his inspection and cannot be defined as section I or section II.

FINDINGS AND RECOMMENDATIONS

NOTE: SECOND-STORY STALL SHOWER NOT WATER-TESTED DUE TO PLASTER CEILINGS BELOW.

NOTE: SECOND-STORY ROOF EAVES AND WINDOWS WERE INSPECTED FROM GROUND LEVEL ONLY.

NOTE: Substructure Area(s): See 1D
Stall Shower(s): None
Foundation: Concrete
Porches/steps: Concrete
Ventilation: Adequate
Abutments: See 5B
Attic Spaces: Inspected
Garage(s): N/A
Decks/patio(s): N/A
Interior: See 1C, 4A, 4B
Exterior: Inspected

Subterranean Termites:

1A (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from earth-fill porch into subframing.
RECOMMENDATION: Drill & treat into infested areas with termidor for the control of subterranean termites.
Note: McKernan Inspections, Inc. cannot be held liable for any damages that may occur to underground pipes and ducting during the procedure. Destroy termite evidence. *Note: the corrective treatments above is warrantied in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

1B (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from basement slab into subframing.
RECOMMENDATION: Drill & treat into infested areas with termidor for the control of subterranean termites.
Note: McKernan Inspections, Inc. cannot be held liable for any damages that may occur to underground pipes and ducting during the procedure. Destroy termite evidence. *Note: the corrective treatments above is warrantied in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 1824 N. Curson Ave., Los Angeles, CA 90046	Street	City	Zip	Date of Inspection 05/01/2008	Number of Pages 7
	McKernan Inspections, Inc. 6111 KESTER AVE., VAN NUYS, CA 91411 (818) 785-3587 - Main Office (818) 785-5838 - FAX			Report # W24182	
				Lic. Registration # PR 3322	
				Escrow #	
Ordered by: Steve Sylvester 1824 N. Curson Ave. Los Angeles, CA 90046 (323) 874-4005 - Personal	Property Owner and/or Party of Interest: Non-Profit Organization C/o Steve Sylvester	Report Sent to: Steve Sylvester 1824 N. Curson Ave. Los Angeles, CA 90046 (323) 874-4005 - Personal			
COMPLETE REPORT <input checked="" type="checkbox"/> LIMITED REPORT <input type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
General Description: Two-story, Stucco over wood frame, Single family residence, Furnished			Inspection Tag Posted: Attic		
			Other Tags Posted:		
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input checked="" type="checkbox"/> Drywood Termites <input checked="" type="checkbox"/> Fungus / Dryrot <input checked="" type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input checked="" type="checkbox"/>					
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for the details on checked items.					

The drawing is located on the final page.

This Diagram is not to scale

Inspected by: Jorge A Ortiz State License No. FR33464 Signature 

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 1418 Howe Avenue, Suite 18, Sacramento, California, 95825-3204.

NOTE: Questions or problems concerning the above report should be directed to the inspector of the company. Unresolved questions or problems with the service performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8186 or www.pestboard.ca.gov



McKernan Inspections, Inc.

6111 KESTER AVE., VAN NUYS, CA 91411

(818) 785-3587 - Main Office

(818) 785-5838 - FAX

Work Authorization

Page 3 of 3

Address: 1824 N. Curson Ave. Los Angeles, CA 90046

Report # W24182

Report Date: 05/01/2008

The terms of this contract are agreed upon as set forth in the above noted report.

Terms and Conditions:

*I HAVE READ THIS CONTRACT AND THE TERMITE REPORT TO WHICH IT REFERS. I HAVE READ AND UNDERSTAND THE TERMS OF THIS WORK AUTHORIZATION CONTRACT AND THE REPORT TO WHICH IT REFERS AND AGREE TO ALL TERMS AND CONDITIONS. SEE REPORT FOR ADDITIONAL WAIVERS TO PLANTS/ROOF IF APPLICABLE.

*Note: Customer must provide guarantee of payment when ordering work to be completed. Please provide any changes in your billing information as changes occur.

Customer billing information: (Bill to: _____) Attn.: _____
phone/fax/address information _____

Please call if payment to be made by credit card. For your convenience we will accept Visa, Mastercard, American-Express, and Discover cards. However, an additional fee may be charged to cover these costs associated with credit card processing and is determined by each company individually. For current rates and/or calculation, please call our office.

Escrow File/Ref. No.: _____ Escrow closing date: _____

Cost of items to complete: \$ _____ Do not complete items: _____

Work date(s): _____ Fumigation Date(s), if applies: _____

.....
(Circle One) Print Owner/Agent Name: _____ Phone: _____

Signature (Owner/Agent): _____

Owner Address (if different from property address): _____

Today's Date: _____ Contact Phone: _____

Payment shall be made as follows. With close of Escrow \$ _____ Deposit \$ _____ on Completion

Escrow Number: _____ Escrow Company: _____ Escrow Officer: _____

Phone () _____ - _____ Fax () _____ - _____ Address: _____

Owner or Authorized Representative: Owner Representative's Title: _____

Print Name: _____ X _____ Date _____

Owner or Authorized Representative: Owner Representative's Title: _____

Print Name: _____ X _____ Date _____



McKernan Inspections, Inc.

6111 KESTER AVE., VAN NUYS, CA 91411

(818) 785-3587 - Main Office

(818) 785-5838 - FAX

Work Authorization

Page 2 of 3

Address: 1824 N. Curson Ave. Los Angeles, CA 90046

Report # W774187

Report Date: 05/01/2008

The terms of this contract are agreed upon as set forth in the above noted report.

Terms and Conditions:

Notice: The charge for service that this company subcontracts to another person or entity may include the company's charges for arranging and administering such services that are in addition to the direct costs associated with paying the subcontractor. You may accept McKernan's bid or you may contract directly with another registered company licensed to perform the work. If you choose to contract directly with another registered company, McKernan will not in any way be responsible for any act or omission in the performance of work that you directly contract with another to perform.

ADDITIONAL FEES/CHARGES

Any additional damage found while work is being performed will be supplemented by a separate report as to the additional findings and costs. All repairs performed by others must be reinspected by our company before certification will be issued. We do not guarantee work completed by others. This firm does not make statements concerning workmanship; workmanship is only determinable by those paying or receiving those services. A reinspection of specific items on the report, or any other conditions pertaining to this structure, can be done at an additional cost per trip and for a cost no greater than the original inspection fee. The reinspection must be performed within four months of the original inspection.

NOTICE TO OWNER

Under the California Mechanics Lien Law, any structural pest control company who contracts to work for you, any contractor, subcontractor, laborer, supplier, or other person who helps to improve your property, but is not paid for his work or supplies, has a right to enforce a claim against your property. This means that after a court hearing, property could be sold by a court officer and proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractors, laborers, or supplier remains unpaid. To preserve their right to file a claim or lien against your property, certain claimants such as subcontractors or material suppliers are required to provide you with a document entitled "Preliminary Notice." General contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property, its purpose is to notify you of persons who may have a right to file a lien against your property if they are not paid. To ensure extra protection for yourself and your property, you may wish to request a Conditional Lien Release which allows that a mechanics lien cannot be filed if your invoice for work performed is paid in full.

TERMS OF PAYMENT

The total amount of this contract is due and payable upon completion of the work listed above, unless otherwise specified. Only the work specified in the contract is being done at this time due to owner's wishes. Any work performed against an existing escrow will be the financial responsibility of the property owner in the event of a cancellation. In case of non-payment, reasonable attorney's fees and costs of collection shall be paid by the owner whether suit is filed or not. A service charge of 1-1/2% per month will be charged on all balances over thirty (30) days (45-days for escrows). The 1-1/2% per month equals 18% per annum on the unpaid balances.

ARBITRATION DISPUTES

By relying on this wood destroying organisms report, you agree that any controversy or claim arising out of or relating to this inspection and/or this report shall be settled by arbitration in accordance with the construction industry arbitration rules of the American Arbitration Association, and judgement upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

(continued...)



Work Authorization

Address: 1824 N. Curson Ave. Los Angeles, CA 90046

Report # W24182

Report Date: 05/01/2008

The terms of this contract are agreed upon as set forth in the above noted report.

Findings and Recommendations estimated by this Company:

Approval	Item	Primary Estimate	Section
<input type="checkbox"/>	1A	\$950.00	I
<input type="checkbox"/>	1B	Included in 1A	I
<input type="checkbox"/>	1C	\$450.00	I
<input type="checkbox"/>	1D	Included in 1A	I
<input type="checkbox"/>	2A	\$15,000.00	I
<input type="checkbox"/>	3A	\$290.00	I
<input type="checkbox"/>	3B	Bid Upon Request	I
<input type="checkbox"/>	4A	Included in 2A	I
<input type="checkbox"/>	4B	Bid Upon Request	I
<input type="checkbox"/>	4C	\$120.00	I
<input type="checkbox"/>	4D	Not Estimated	I
<input type="checkbox"/>	4E	Not Estimated	II
<input type="checkbox"/>	4F	Not Estimated	II
<input type="checkbox"/>	4G	Not Estimated	II
<input type="checkbox"/>	5A	Not Estimated	II
<input type="checkbox"/>	5B	Not Estimated	Unknown
			Unknown

Total cost to be determined after Section I items listed above are estimated
Inspection Fee: \$ 100.00

Items: 4A, 4B & 4C (Section I)

SEVENTH PAGE OF STANDARD INSPECTION REPORT OF THE PROPERTY LOCATED AT:

Address 1824 N. Curson Ave., Los Angeles, CA 90046

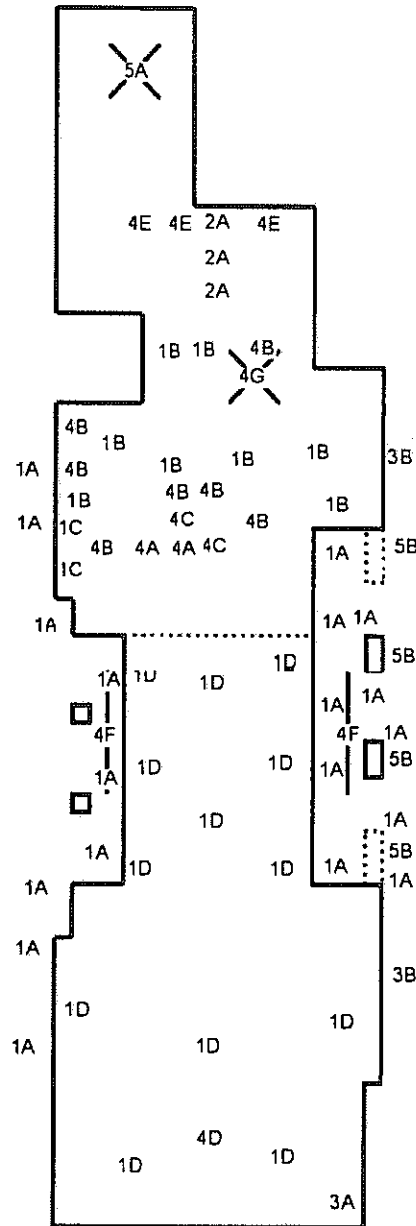
05/01/2008

W24182

Date

Report #

This Diagram is not to scale



□ 5B □ 5B

□ 5B □ 5B

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

- 4E (Section II)
FINDINGS: Moisture stains and peeling paint noted to roof framing due to unknown source.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.
- 4F (Section II)
FINDINGS: Softness noted to balcony waterproof membrane due to unknown source. Framing was inaccessible for inspection due to waterproof membrane and stucco ceiling covering.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.
- 4G (Section II)
FINDINGS: Moisture stains noted to wall and ceiling of basement due to unknown source.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

Unknown / Further Inspection:

- 5A (Section Unknown)
FINDINGS: Inspection of garage was limited in areas due to storage at walls.
RECOMMENDATION: If requested, we will further inspect after storage is removed.
- 5B (Section Unknown)
FINDINGS: Drywood termite damages noted to basement ceiling framing which was visible from a small opening done by others.
RECOMMENDATION: If requested, and if practical, open inaccessible areas to further inspect.

NOTE: Continue onto next page for contract.

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

3A (Section I)

FINDINGS: Dryrot damages noted to window due to direct weathering.
RECOMMENDATION: Chisel out and repair surface damages with epoxy wood filler.

Note: If surface damages are found to be structural, a supplemental report will be issued.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

3B (Section I)

FINDINGS: Dryrot damages noted to picture window due to direct weathering.
RECOMMENDATION: Chisel out and repair surface damages with epoxy wood filler.

Note: If surface damages are found to be structural, a supplemental report will be issued.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

Other Findings:

4A (Section I)

FINDINGS: Wood boring beetles noted to interior siding and shoe base, extending into inaccessible areas.
RECOMMENDATION: See recommendation #2A.

4B (Section I)

FINDINGS: Wood boring beetle damages noted to interior siding of basement, door jamb and trim.
RECOMMENDATION: Replace all interior siding of basement, 16 ft. of door jamb and trim.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

4C (Section I)

FINDINGS: Wood boring beetle damages noted to base shoe.
RECOMMENDATION: Replace up to 0 ft. of base shoe.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

4D (Section II)

FINDINGS: Moisture stains noted to ceiling due to unknown source.
RECOMMENDATION: If any party has concerns regarding this condition, we recommend a qualified contractor be contacted to make any necessary recommendation and repairs.

Address 1824 N. Curson Ave., Los Angeles, CA 90046

05/01/2008

W24182

Date

Report #

- Findings and Recommendations continued from previous page -

1C (Section I)
FINDINGS: Subterranean termite damages noted to hardwood flooring of downstairs hallway.
RECOMMENDATION: Replace up to 20 ft. of hardwood flooring.

NOTE: If damages are found to extend into inaccessible areas, a supplemental report will be issued reflecting any additional cost for correction.

NOTE: Hardwood flooring may not match in color or height due to previous sanding. This bid does not include stain, varnish, urathane finish coat or finish coat.

1D (Section I)
FINDINGS: Evidence of subterranean termites noted tubing from substructure soil into subframing and cellulose debris on ground of substructure.
RECOMMENDATION: Apply chemical barriers at infested areas with termidor for the control of subterranean termites. Destroy termite evidence. Remove cellulose debris.
*Note: The corrective treatment listed above is guaranteed in areas of treatment for 1-year. Whole house preventative treatments are available upon request.

Drywood Termites:

2A (Section I)
FINDINGS: Evidence of drywood termites noted to roof framing, extending into inaccessible areas.
RECOMMENDATION: Completely seal entire house and attached garage airtight to hold a sufficient amount of lethal fumigant gas (Vikane; sulfuryl flouride with chloropicrin warning agent). Thoroughly aerate before admitting any occupants. This process is guaranteed to eliminate all present kalotermes. McKernan Inspections, Inc. cannot be responsible for any damage that may occur to roof, plants, landscape, paint, skylight or T.V. aerial during the process of fumigation (2-year guarantee). Mask or remove evidence.

* Note: Damage to plants is deemed likely during the process of fumigation. To prevent further damages from occurring, we recommend owner cut back any/all foliage from structure prior to fumigation. (Owner to sign plant release).

** Note: See fumigation preparation sheet for information regarding the gas company to turn off and on your property. Fumigators are not allowed to turn gas meters on or off.

NOTE: **DUE TO THE FRAGILE NATURE OF THE ROOFING MATERIAL, DAMAGES MAY OCCUR DURING FUMIGATION PROCESS. MCKERNAN INSPECTIONS CANNOT ASSUME RESPONSIBILITY FOR DAMAGES TO ROOF COVERINGS, IF ANY. WE RECOMMEND OWNER CONTACT A PROPER ROOFING CONTRACTOR TO INSPECT CONDITION OF ROOFING MATERIAL AFTER FUMIGATION.**

Fungus / Dry Rot: